

DOCUMENT 00 90 00

ADDENDUM

ADDENDUM NO. [2]

Date: September 17, 2019

**RE: SCHOOL DISTRICT OF LA CROSSE
7 RIVERS CHARTER SCHOOL
225 5TH AVE SOUTH
LA CROSSE, WI 54601
HSR 19003**

**FROM: HSR Associates, Inc.
100 Milwaukee Street
La Crosse, WI 54603
(608) 784-1830**

To: Prospective Bidders

This addendum forms a part of the Contract Documents and modifies the original Bidding Documents dated August 2019. Acknowledge receipt of this Addendum in the space provided on the bid form. Failure to do so may subject the Bidder to disqualification.

This Addendum consists of [3] pages, [1] Bid Form Revision 2 and [14] 30 x 42 drawings.

CHANGES TO PREVIOUS ADDENDUM: Addendum 1

1. Item 2: Delete Bid Form (Revision). Bid Form (Revision 2) attached hereto.
2. Item 5: Delete this item. Fire shutters and water curtain not required.
3. Item 11, Section 09 21 16: Delete Paragraphs 8 and 12 in reference to glass mat products. Paper faced products shall be allowed as follows:
 - CertainTeed Corporation; Extreme Impact Resistant Drywall with M2Tech.
 - Continental Building Products; Protecta HIR 300 Type X with Mold Defense.
 - National Gypsum Company; Gold Bond HI-Impact XP Gypsum Board.
4. Item 21: Where south wall is now furred out, HVAC baseboard shall move out with new wall location.
5. Item 35: Delete reference to M104.
6. Sheet M105: Drawing has no changes. It was inadvertently included.

GENERAL REQUIREMENTS:

7. Section 01 23 00 ALTERNATES

- a. Alternate 1: Delete "aluminum framed glass wall". Refer to drawings for materials.
- b. Alternate 3 revision; Alternate 3 description shall be as follows:

Alternate No. 3: North Exterior Windows

1. The following work shall be priced under Alternate No. 3: State the amount to be added to the base bid to install the (3) exterior aluminum windows at north wall of room 117

CHANGES TO SPECIFICATIONS:

8. Section 08 33 23 OVERHEAD COILING DOORS

- a. Delete section from Contract Documents. Coiling doors removed from project.

9. Section 08 80 00 GLAZING

- a. Add GLT-16 as follows:

GLT-16 Insulating Glass Units: Spandrel glazing.

1. Applications: Exterior spandrel glazing unless otherwise indicated.
2. Space between lites filled with argon.

3. Outboard Lite: Annealed float glass, 1/4 inch thick, minimum.
 - a. Tint: Clear.
 - b. Coating: Same as on vision units, on #2 surface.
4. Inboard Lite: Heat-strengthened float glass, 1/4 inch thick.
 - a. Tint: Clear.
 - b. Opacifier: Ceramic frit, on #4 surface.
 - c. Opacifier Color: As selected by A/E.
5. Total Thickness: 1 inch.
6. Thermal Transmittance (U-Value), Summer - Center of Glass: 0.24, nominal.
7. Glazing Method: Dry glazing method, gasket glazing

CHANGES TO DRAWINGS

10. Sheet A090 DEMOLITION PLANS 30 x 42 attached hereto

- a. Revisions clouded on Drawing.
- b. All existing windows shall be replaced.

11. Sheet A101 FIRST FLOOR REMODEL PLAN 30 x 42 attached hereto

- a. Revisions clouded on Drawing.
- b. New windows shown.
- c. Revised keynotes 9.
- d. Delete Note 43. Fire shutters have been removed from project.
- e. Closet 109- removed references to keynote 10.

12. Sheet A102 SECOND FLOOR REMODEL PLAN 30 x 42 attached hereto

- a. Revisions clouded on Drawing.
- b. New windows shown.

13. Sheet A111 FIRST FLOOR REFLECTED CEILING PLAN 30 x 42 attached hereto

- a. Revisions clouded on Drawing.
- b. Fire shutters deleted from project at north wall.

14. Sheet A200 EXTERIOR ELEVATIONS AND BUILDING SECTIONS 30 x 42 attached hereto

- a. Revisions clouded on Drawing.
- b. New windows shown.

15. Sheet A201 INTERIOR ELEVATIONS 30 x 42 attached hereto

- a. Revisions clouded on Drawing.
- b. Added window elevations C through F.

16. Sheet A600 WALL TYPES AND DOOR SCHEDULE 30 x 42 attached hereto
 - a. Revisions clouded on Drawing.
 - b. Clarified location of top of wall detail.
 - c. Door Schedule: Delete fire shutters 116B, 116D, and 116F.
17. Sheet FP100 FIRE PROTECTION 30 x 42 attached hereto
 - a. Revisions clouded on Drawing.
18. Sheet P000 NOTES, SCHEDULES AND DETAILS 30 x 42 attached hereto
 - a. Revisions clouded on Drawing.
19. Sheet P090 DEMOLITION PLANS 30 x 42 attached hereto
 - a. Revisions clouded on Drawing.
20. Sheet P101 BASEMENT REMODEL PLAN 30 x 42 attached hereto
 - a. Revisions clouded on Drawing.
21. Sheet P102 FIRST FLOOR REMODEL PLAN 30 x 42 attached hereto
 - a. Revisions clouded on Drawing.
22. Sheet P103 SECOND FLOOR REMODEL PLAN 30 x 42 attached hereto
 - a. Revisions clouded on Drawing.
 - b. Gas piping, new roof drain and storm piping revisions.
23. Sheet P200 ISOMETRIC DIAGRAMS 30 x 42 attached hereto
 - a. Revisions clouded on Drawing.
24. Sheet E201 FIRST FLOOR POWER PLAN
 - a. 1E201: Mech/Elec. 108: Provide weatherproof fire alarm strobe at exterior near sprinkler system piping.
 - b. Delete power connections and circuits to removed fire shutters at north wall.
25. Sheet E600 LIGHTING AND RELAY SCHEDULES
 - a. Light Fixture Schedule: Type S4 fixture shall be same as S4E, except not on emergency circuit.

PRIOR APPROVALS

1. Section 27 53 13 WIRELESS CLOCK SYSTEM
 - a. American Time/SiteSync IQ System Controller

END OF DOCUMENT 00 90 00

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DOCUMENT 00 41 00

BID FORM (Revision 2)

BIDDER: _____

BID FOR SINGLE PRIME CONTRACT

PROJECT: **SCHOOL DISTRICT OF LA CROSSE
7 RIVERS CHARTER SCHOOL
225 5TH AVE SOUTH
LA CROSSE, WI 54601
HSR 19003**

TO: **SCHOOL DISTRICT OF LA CROSSE
807 EAST AVENUE SOUTH
LA CROSSE, WISCONSIN 54601**

BASE BID

The undersigned, having examined the site where the Work is to be executed and become familiar with local conditions affecting the cost of the Work and carefully examined the Project Manual, the Project Drawings, all other Bidding Documents and Addenda thereto prepared by the AE, HSR Associates, Inc., hereby agrees to provide all labor, materials, equipment and services necessary for the complete and satisfactory execution of the ENTIRE WORK, in the time frame stipulated in these contract documents, for the Base Bid stipulated sum of:

_____ Dollars (\$ _____ .00)

The Base Bid stipulated sum, stated above, shall include stated allowance in Section 01 21 00.

ALTERNATE BIDS

The undersigned further agrees to perform the alternative portions of the Work as described in the Project Manual, Section 01 23 00 Alternates, for the following additions to or deductions from the Base Bid sum stipulated above:

Alternate No. 1 Conference Room 111

Add _____ Dollars (\$ _____ .00)

Alternate No. 2 Office 105, Nurse 106 and Nurse Toilet 106A

Add _____ Dollars (\$ _____ .00)

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Alternate No. 3 North Exterior Windows

Add _____ Dollars (\$_____.00)

UNIT PRICES

The undersigned agrees to add or deduct portions of the Work from the Contract as described in the Project Manual, Section 01 22 00 Unit Prices, for the following Unit Price amounts:

A. Unit Price UP-1: (Patching Existing Plaster Walls)

Per Square Foot _____ Dollars (\$_____.00)

BIDDER'S CHOICE SUBSTITUTIONS

The following Bidder's Choice Substitution is proposed for your consideration subject to the requirements set forth in Document 00 22 13 Supplementary Instructions to Bidders, Subparagraph 3.3.4:

Substitution No. S1:

For substituting _____

Type, Brand, Catalog No. _____

Manufacturer _____

Deduct from BASE BID _____ Dollars (\$_____.00)

In submitting this Bid, the undersigned agrees to:

1. Hold this Bid open for **60** days.
2. Accept the provisions of Instructions to Bidders regarding disposition of Bid Security.
3. Enter into and execute an Agreement, if awarded on the basis of this Bid, and to furnish Performance and Labor and Material Payment Bonds according to the Supplementary Conditions.
4. Accomplish work according to the Contract Documents.
5. Complete the work by the time stated in Section 01 10 00 Summary of the Work.

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Receipt of the following Addenda and inclusion of their provisions in this Bid is hereby acknowledged:

Addendum No. _____ Dated _____

Addendum No. _____ Dated _____

Addendum No. _____ Dated _____

Addendum No. _____ Dated _____

Attached hereto are the required:

- a. Bid Security
- b. 00 45 13 Certificate of Organization and Authority
- c. An executed Document 00 45 15 Disclosure of Ownership is:
 - Attached hereto
 - Not applicable to the undersigned Bidder

FIRM NAME: _____

(Affix seal if Corporation)

By: _____

Title: _____

By: _____

Title: _____

Date: _____

Official Address: _____

Telephone: _____

END OF DOCUMENT 00 41 00

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Consultant:

SCHOOL DISTRICT OF LA CROSSE
7 RIVERS CHARTER SCHOOL
228 5TH AVENUE SOUTH
LA CROSSE, WI 54601

Project Title:
Project Number:
Project Date:
Drawn By:
Key Plan:

HSR Project Number:
19003
Project Date:
AUG 27, 2019
Drawn By:
MPL
Key Plan:

No.	Description	Date
A01	Addendum #1	9-12-2019
A02	Addendum #2	9-18-2019

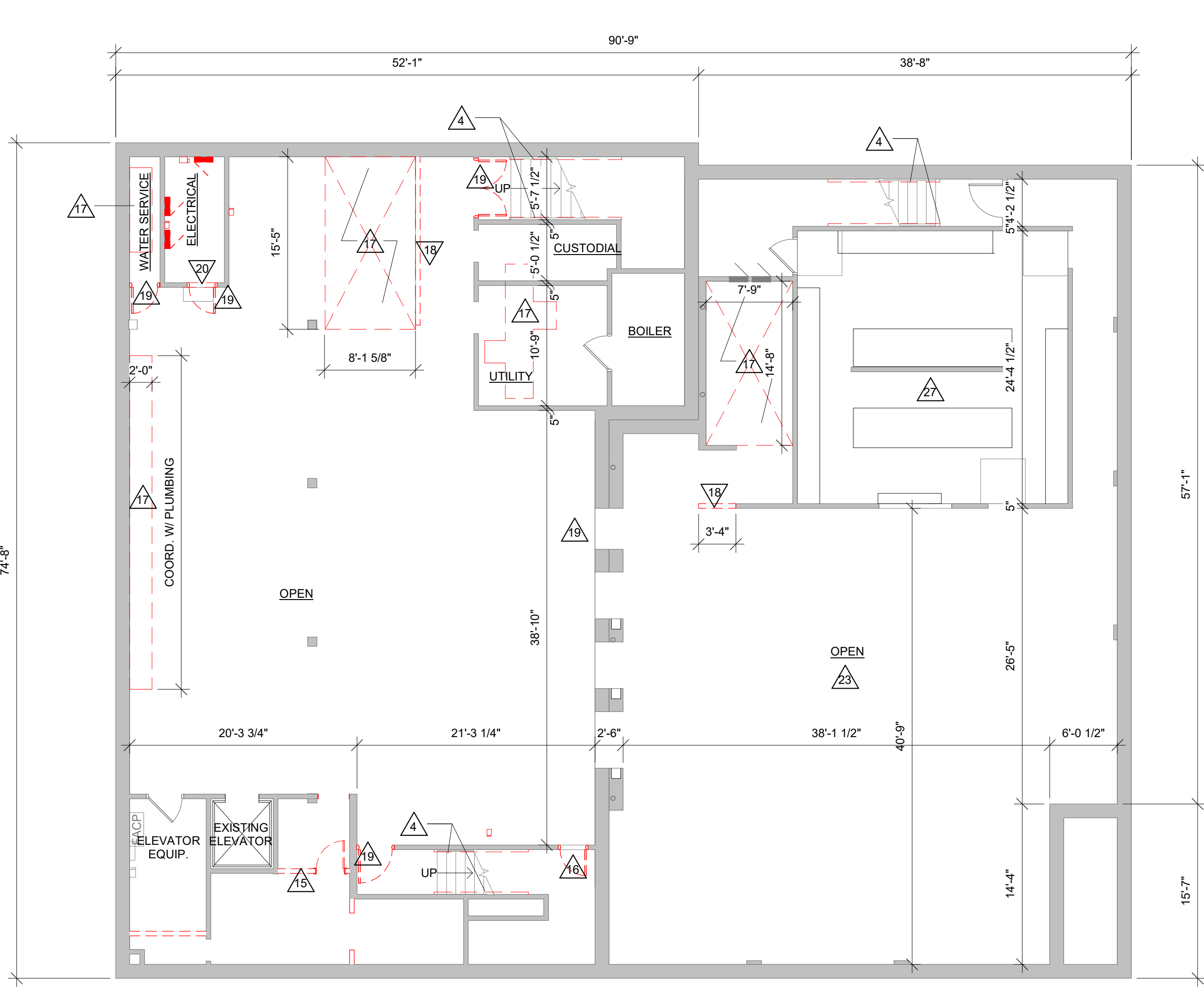
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A090

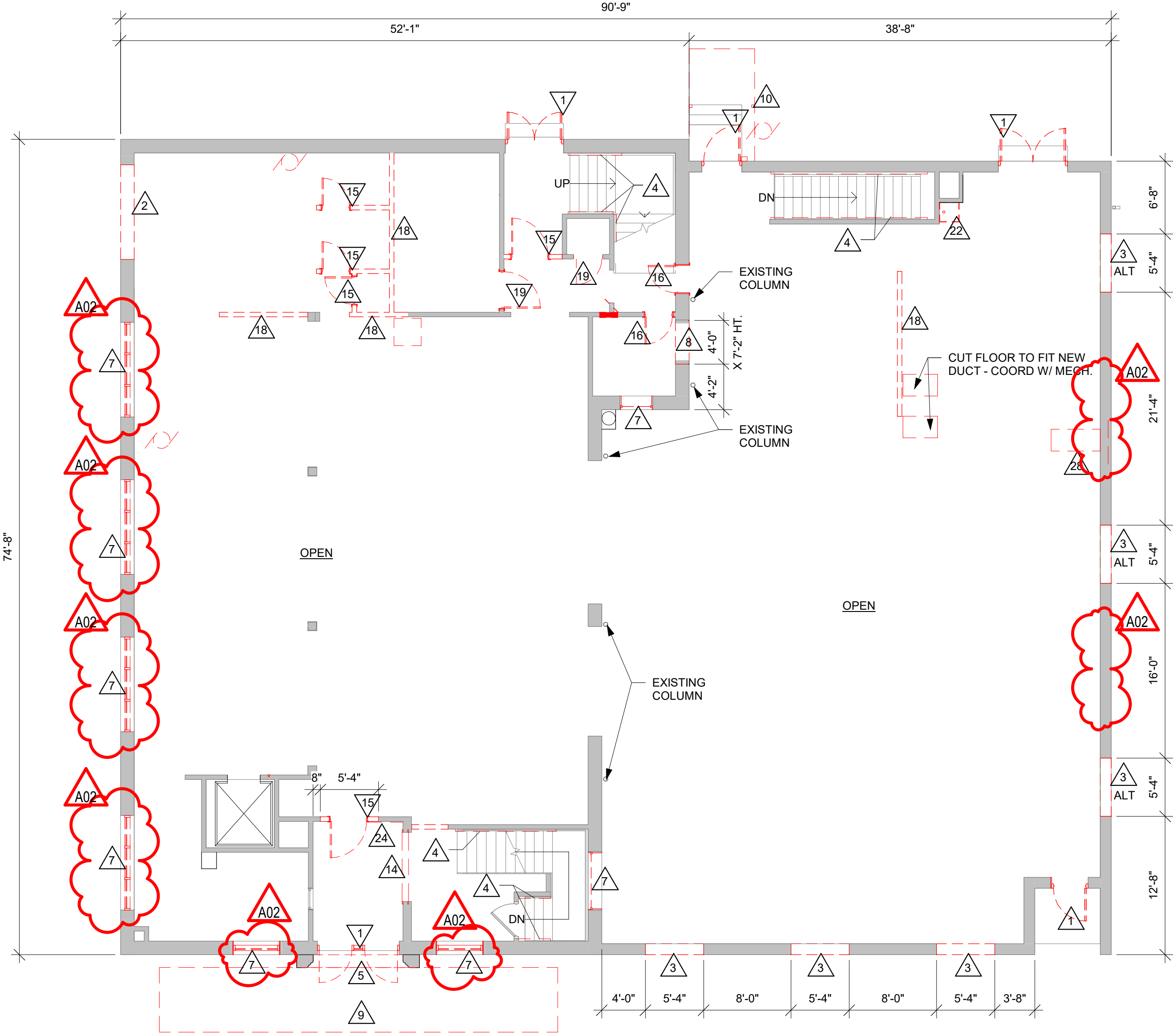
- REMOVAL GENERAL NOTES:**
- A PREPARATION FOR NEW FINISHES SHALL INCLUDE BUT NOT LIMITED TO REMOVAL OF EXISTING FINISHES. REMOVAL OF TAPES, GLUES, MASTIC, NAILS, ETC. PATCHING OF HOLES AND CRACKS TO PROVIDE AN ACCEPTABLE SURFACE FOR NEW FINISH INSTALLATION.
 - B CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING, BRACING, ETC. AS REQUIRED FOR THE WORK.
 - C SEE MECHANICAL, PLUMBING AND ELECTRICAL SHEETS FOR ADDITIONAL REMOVAL NOTES AND ITEMS.
 - D COORDINATE REMOVAL AND PATCHING WITH MEP DRAWINGS. PATCH TO MATCH EXISTING ADJACENT CONDITIONS.
 - E BIDDERS SHALL MAKE EVERY EFFORT TO VERIFY EXISTING CONDITIONS PRIOR TO BIDDING. INSPECTION HOLES, ETC. CAN BE COORDINATED WITH THE OWNER.
 - F PROVIDE FLOOR PROTECTION AS SPECIFIED AT DEBRIS REMOVAL PATHS THROUGH BUILDING.
 - G
 - H EXISTING INTERIOR WALLS ARE GYP BO OR PLASTER/ MESH UNLESS NOTED OTHERWISE.

- REMOVAL PLAN LEGEND:**
- △ SYMBOL INDICATES CONSTRUCTION NOTE THIS SHEET
 - - - REMOVE ITEMS NOTED WITH DASHED LINES
 - SYMBOL INDICATES REMOVAL OF DOOR AND FRAME UNLESS NOTED OTHERWISE

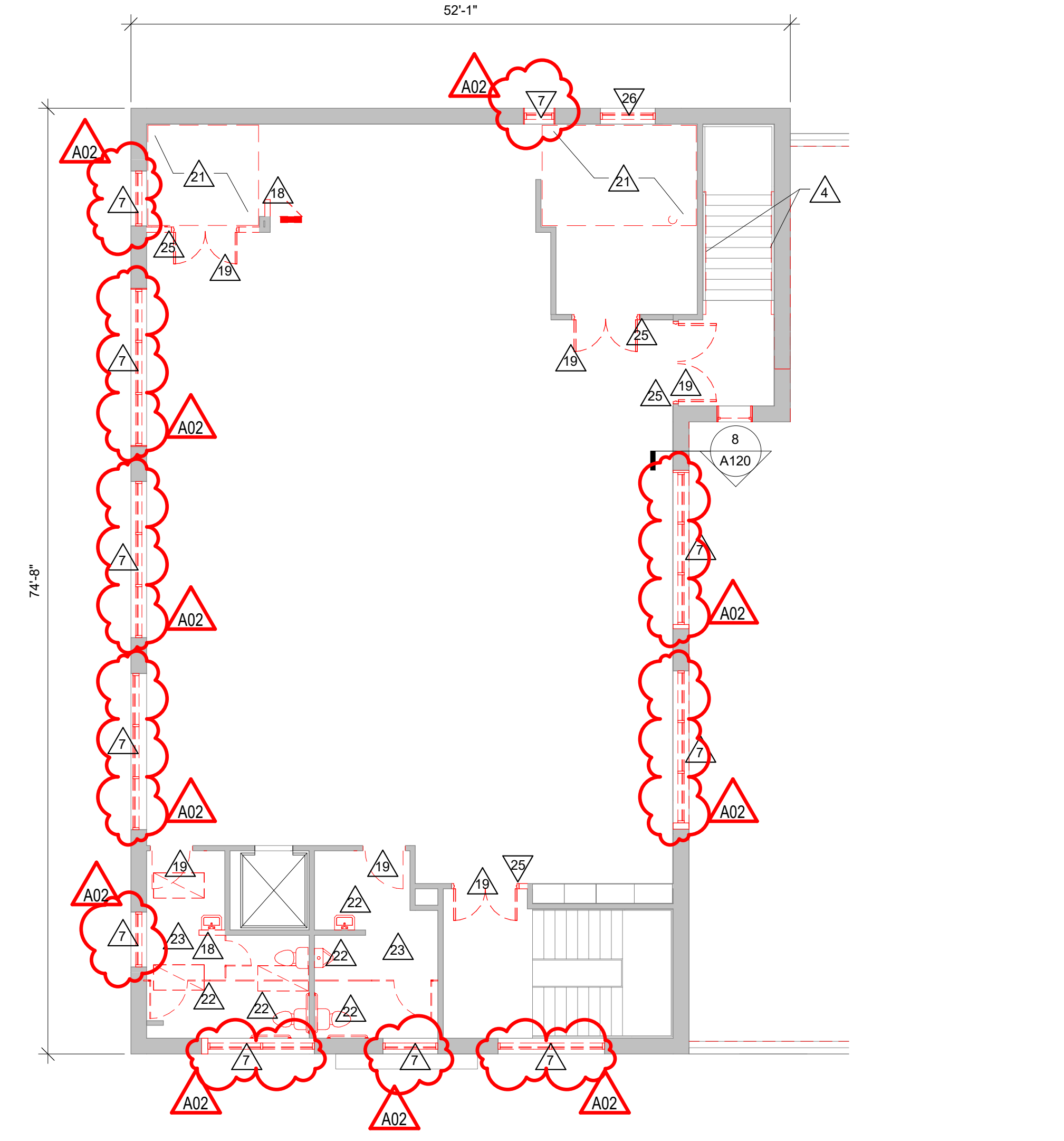
- KEY NOTES REMOVAL**
- 1 REMOVE EXISTING EXTERIOR DOORS, FRAME AND GLAZING AS REQUIRED. PREPARE REMAINING OPENING FOR INSTALLATION OF NEW DOOR.
 - 2 REMOVE GLASS BLOCK FROM OPENING. PREPARE FOR INSTALLATION OF NEW ALUM WINDOW. SEE PHOTO 9A090.
 - 3 REMOVE EXISTING CMU/ BRICK AS REQUIRED FOR INSTALLATION OF NEW ALUM WINDOW. OPENING SIZE TO BE 5'-4" W X 6'-8" H. BOTTOM OF OPENING AT 3'-0".
 - 4 REMOVE EXISTING WALL MOUNTED HANDRAILS. SEE PHOTO 9A090.
 - 5 REMOVE EXISTING EXTERIOR STOOP AS REQUIRED FOR INSTALLATION OF NEW CONCRETE STOOP/RAMP.
 - 6
 - 7 REMOVE EXISTING WINDOW AND FRAME.
 - 8 REMOVE EXISTING CMU AND BRICK. AS REQUIRED FOR NEW DOOR OPENING.
 - 9 REMOVE EXISTING SIDEWALK AND EXCAVATE AS REQUIRED FOR NEW RAMP STOOP AND FOOTINGS.
 - 10 REMOVE EXISTING METAL CANOPY AND SUPPORTS. PATCH CONCRETE AND EXTERIOR WALL.
 - 11 COORDINATE EQUIPMENT AND CURB REMOVAL WITH MECHANICAL.
 - 12 REMOVE EXISTING BUILT UP ROOF SYSTEM DOWN TO WOODEN ROOF DECK.
 - 13 REMOVE EXISTING ROOF DRAIN. SEE PLUMBING FOR REQUIRED WORK.
 - 14 CAREFULLY REMOVE EXISTING CASING FROM PERIMETER OF EXISTING OPENING. SALVAGE FOR REUSE WHERE NOTED.
 - 15 REMOVE EXISTING DOOR, FRAME, AND WALL AS REQUIRED FOR NEW DOOR OPENING.
 - 16 REMOVE EXISTING DOOR AND FRAME. PREPARE OPENING AS REQUIRED FOR NEW WELL TO MATCH WALL.
 - 17 REMOVE CONCRETE SLAB FOR NEW UNDERGROUND PLUMBING WORK.
 - 18 REMOVE EXISTING WALL FLOOR TO DECK.
 - 19 REMOVE EXISTING DOOR AND FRAME.
 - 20 REMOVE CONCRETE CURB TO FINISH FLOOR LEVEL.
 - 21 REMOVE PLASTER CEILING AND WOOD JOISTS ABOVE.
 - 22 REMOVE EXISTING PLUMBING FIXTURES, PARTITIONS, AND ACCESSORIES.
 - 23 REMOVE EXISTING FINISH FLOOR, BASE AND ADHESIVE. PREPARE FLOOR AS REQUIRED FOR NEW FLOORING. SEE 19 SHEETS.
 - 24 REMOVE TACKBOARD AND DAMAGED CHAIR RAIL. REPLACE WITH SALVAGED TRIM BOARDS. PREPARE SURFACE ABOVE AS REQUIRED FOR NEW PAINT.
 - 25 CAREFULLY REMOVE TRIM AND SALVAGE FOR REUSE WHERE NOTED.
 - 26 EXISTING REFUSE CHUTE TO REMAIN THROUGHOUT CONSTRUCTION. REPLACE WITH NEW WINDOW AFTER CONSTRUCTION IS COMPLETE.
 - 27 REMOVE SUSPENDED CEILING SYSTEM.
 - 28 REMOVE ABANDONED HOOD FAN AND LOUVER.



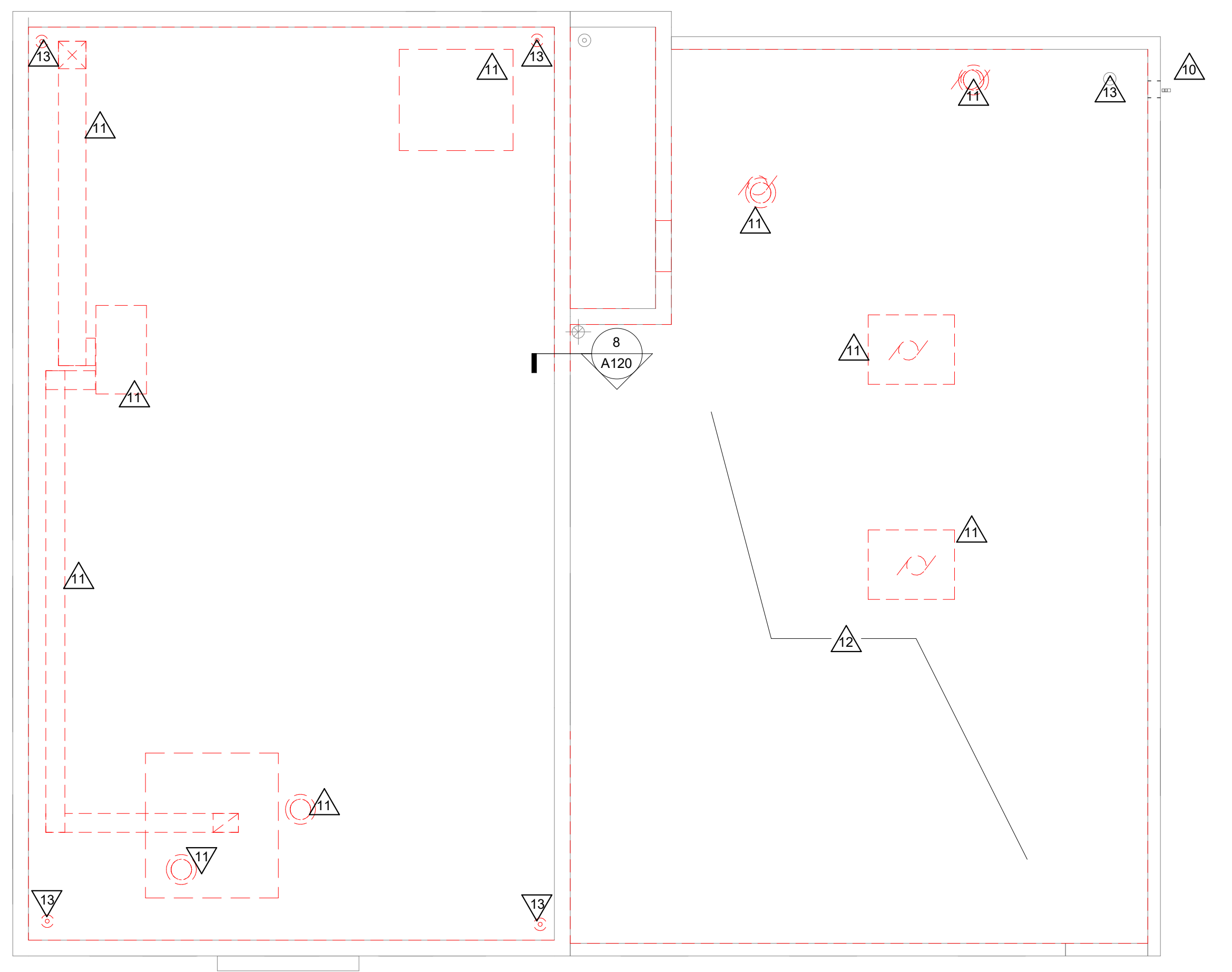
1 BASEMENT DEMOLITION PLAN
1/8" = 1'-0"



2 FIRST FLOOR DEMOLITION PLAN
1/8" = 1'-0"

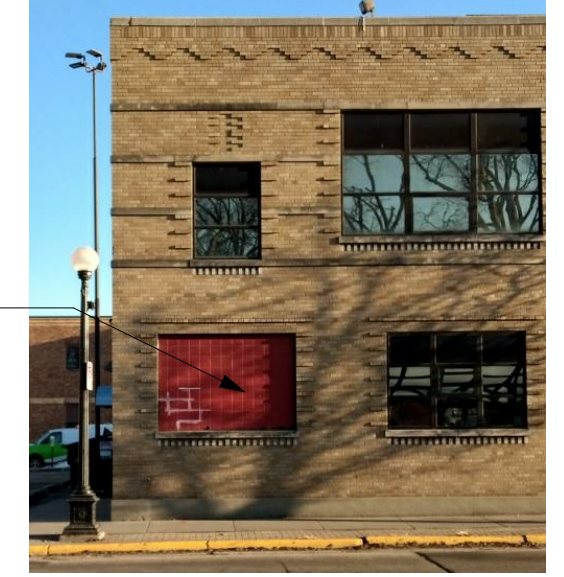


3 SECOND FLOOR DEMOLITION PLAN
1/8" = 1'-0"



4 ROOF DEMOLITION PLAN
1/8" = 1'-0"

REMOVE EXISTING GLASS BLOCK FROM EXISTING WINDOW OPENING



5 WINDOW INFILL

REMOVE HANDRAIL
CHAIR RAIL TO REMAIN



6 STAIR RAILING



Consultant:

GENERAL NOTES:

- COORDINATE CEILINGS WITH NEW LIGHT FIXTURES. PATCH ANY ABANDONED HOLES, ETC. FOR CLEAN FINISH.
- EXISTING WOOD DOORS, TRIM & FIXTURES: TAKE CARE TO REMOVE, CUT, AND REINSTALL EXISTING WOOD TRIM. INSTALL NEW WOOD TRIM TO MATCH EXISTING.
- PATCH & PAINT OLD DAMAGE TO WALLS, FLOOR, AND CEILING TO MATCH TEXTURE, COLOR, AND APPEARANCE OF EXISTING ADJACENT FINISH.
- ALL DOORS IN NEW WALLS TO BE 4" FROM CORNER, UNLESS NOTED OTHERWISE.
- REFINISHING OF WOOD FLOORS AND REPURPOSING OF EXISTING TERRAZZO. SEE ID SHEETS FOR SCOPE.
- SEE CODE PLAN FOR WALL RATINGS AND FIRE EXTINGUISHER LOCATIONS.

LEGEND:

- (A) SYMBOL INDICATES WALL TYPE - SEE WALL TYPE DETAILS.
- (A) SYMBOL INDICATES WINDOW TYPE. SEE SHEET A201 FOR WINDOW FRAME ELEVATIONS.
- (A) SYMBOL INDICATES CONSTRUCTION NOTE THIS SHEET
- - - INDICATES WALLS WITH HIGH IMPACT GYP BD TO 4'-0"
- ▬ 1 HOUR WALL
- L-n LINTEL SIZE - SEE 2A101

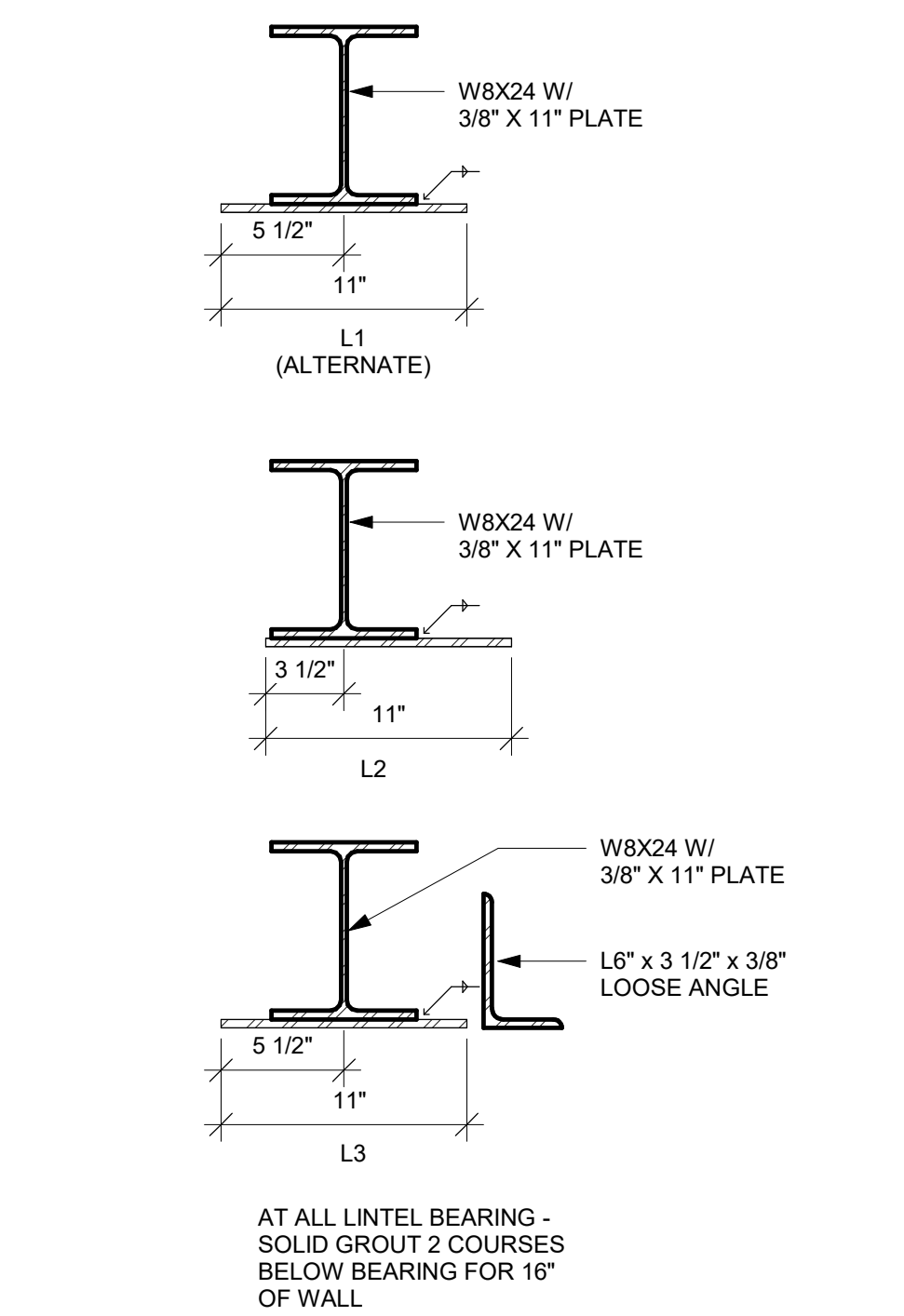
KEY NOTES PLAN

- EXISTING CONCRETE STEPS TO REMAIN.
- NEW CONCRETE STOOP AND RAMPS. SEE SHEET A501.
- REPLACE EXISTING HANDRAILS WITH 1 1/2" STEEL WITH 12" EXTENSIONS @ TOP AND BOTTOM. SEE SHEET A501.
- NEW STAGE 8" A.F.F. SEE SHEET A500 FOR DETAIL.
- 1 1/2" STEEL GUARDRAIL CONNECTED TO EXISTING BALLUSTERS, 42" TO TOP OF RAIL FROM TOP OF STAIR NOSING, 12" EXTENSIONS @ TOP AND BOTTOM. BALLUSTERS & BRACKETS AS REQUIRED TO SUPPORT HANDRAIL. SEE SHEET A501.
- INFILL AT EXISTING EXTERIOR SLOPED SLAB WITH CONCRETE. MATCH FINISH FLOOR LEVEL.
- PLANK RECEPTION DESK WITH KNEE SPACE BELOW. SEE SHEET A210.
- KITCHEN INTERIOR - REMOVED BY OWNER.
- NEW THERMALLY BROKEN ALUMINUM FRAME WINDOW IN EXISTING OPENING.
- INFILL EXISTING OPENING TO MATCH EXISTING WALL THICKNESS - MASONRY CORE WITH STUCCO FINISH TO MATCH EXISTING CONSTRUCTION.
- TOOTH IN BRICK TO FINISH AND REPAIR WALL ENDS. MATCH BRICK TEXTURE AND COLOR AND MORTAR TO EXISTING.
- INFILL 8" WOOD BASE W/ QUARTER ROUND. OVERLAP ANGLE CUT END OF NEW BASE WITH EXISTING. MATCH WOOD SPECIES AND FINISH OF ADJACENT BASE.
- STAINLESS STEEL 18 GA FLOOR TO ROOF DECK METAL HEAT SHIELD. ATTACH FLANGES W/ SS SCREWS TO EXISTING MASONRY. HOLD 2" OFF OF FACE OF BOILER VENT.
- INFILL MASONRY TO MATCH EXISTING EXTERIOR WALL CONSTRUCTION - MATCH BRICK AND MORTAR TEXTURE AND COLOR AT OPEN SIDE. PLASTER TO MATCH ADJACENT SURFACES AT STAIR SIDE.
- DOOR ACTUATOR AND CARD READER ON BOLLARD. SEE ELECTRICAL.
- NEW CASING AT EXISTING OPENING. MATCH ADJACENT WOODWORK.
- INFILL EXISTING DUCT OPENINGS IN FLOOR AND EXTERIOR WALL.
- DOOR ACTIVATION - SEE ELECTRICAL.
- GENERAL LOCATIONS FOR HOLES FROM ABANDONED PIPING. PLAN TO PATCH 12" HOLES IN TERRAZZO.
- COORD WITH ID REMOVE AND REPLACE OR PREPARE EXISTING FLOOR TILE. SEE ID SHEETS FOR NEW TILE FLOOR SELECTION.
- CLEAN AND POLISH EXISTING TERRAZZO FLOOR. SEE ID SHEETS - PROTECT DURING CONSTRUCTION.
- SAND AND REFINISH WOOD FLOORING. SEE ID SHEETS.
- ROCK TAPE, MUD, AND PAINT EXISTING FRAMING AND WALL SURFACES AS REQUIRED FOR COMPLETE AND FINISHED APPEARANCE.
- NEW SOLID SURFACE SILL - SEE DETAIL 2A500.
- NEW RADIATOR. SEE MECHANICAL.
- HIGH - LOW DRINKING FOUNTAIN - SEE PLUMBING.
- EXISTING STEEL COLUMN TO REMAIN.
- INSTALL SALVAGED CHAIR RAIL AT INFILLED WALL LOCATION.
- INFILL EXISTING POCKET WITH METAL STUDS AND GYP. BD.
- NEW FLOOR MOP BASIN - SEE PLUMBING.
- MOP AND BROOM HOLDER - SEE A400.
- CLEAN EXISTING METAL PLATE.
- SEE DEMO SHEETS FOR SCOPE OF NEW 4" CONCRETE FLOOR - RECESS CONCRETE SUCH THAT NEW TILE FLOOR IS FLUSH WITH ADJACENT FLOORING.
- NEW 5/8" GYP BD ON EXISTING WOOD STUDS.
- SECURE EXISTING POCKET WINDOW W/ 2 LAYERS OF 3/4" PLYWOOD (PAINT).
- TOP OF WALL AT 42"
- LINE OF BULKHEAD ABOVE
- FRP PANEL ABOVE COUNTER
- EXISTING CLOSET DOORS TO REMAIN. ADD TRIM TO FRAME.
- INSTALL SALVAGED CHAIR RAIL AT INFILLED WALL LOCATION. MATCH WOOD SPECIES AND STAIN COLOR.
- INFILL W/ CMU ALLOW FOR GYP VENEER PLASTER @ ROOM SIDE.
- INFILL FLOOR AS REQUIRED TO MATCH ADJACENT CONCRETE FLOOR.
- NOT USED.
- GENERAL LOCATIONS FOR HOLES FROM ABANDONED PIPING. PLAN TO PATCH 12" HOLES IN CONCRETE.



1 FIRST FLOOR REMODEL PLAN
1/4" = 1'-0"

2 STRUCTURAL LINTELS
1 1/2" = 1'-0"



Project Title: **SCHOOL DISTRICT OF LA CROSSE
7 RIVERS CHARTER SCHOOL**
Project Number: **19003**
Project Date: **AUG 27, 2019**
Drawn By: **MPL**
Key Plan:

Project Location: **228 5TH AVENUE SOUTH
LA CROSSE, WI 54601**
Sheet Title: **FIRST FLOOR REMODEL PLAN**

HSR Project Number: **19003**
Project Date: **AUG 27, 2019**
Drawn By: **MPL**

Key Plan:

Revisions:

No.	Description	Date
A01	Addendum #1	9-12-2019
A02	Addendum #2	9-18-2019

Graphic Scale: **VARIES**

Last Update: **9/17/2019 2:02:53 PM**

A101



Consultant:

Project Title: **SCHOOL DISTRICT OF LA CROSSE
7 RIVERS CHARTER SCHOOL**
Project Location: **228 5TH AVENUE SOUTH
LA CROSSE, WI 54601**
Sheet Title: **SECOND FLOOR REMODEL PLAN**

HSR Project Number: **19003**

Project Date: **AUG 27, 2019**

Drawn By: **MPL**

Key Plan:

No.	Description	Date
A01	Addendum #1	9-12-2019
A02	Addendum #2	9-18-2019

Graphic Scale: **VARIES**

Last Update: **9/17/2019 2:02:57 PM**

A102

GENERAL NOTES:

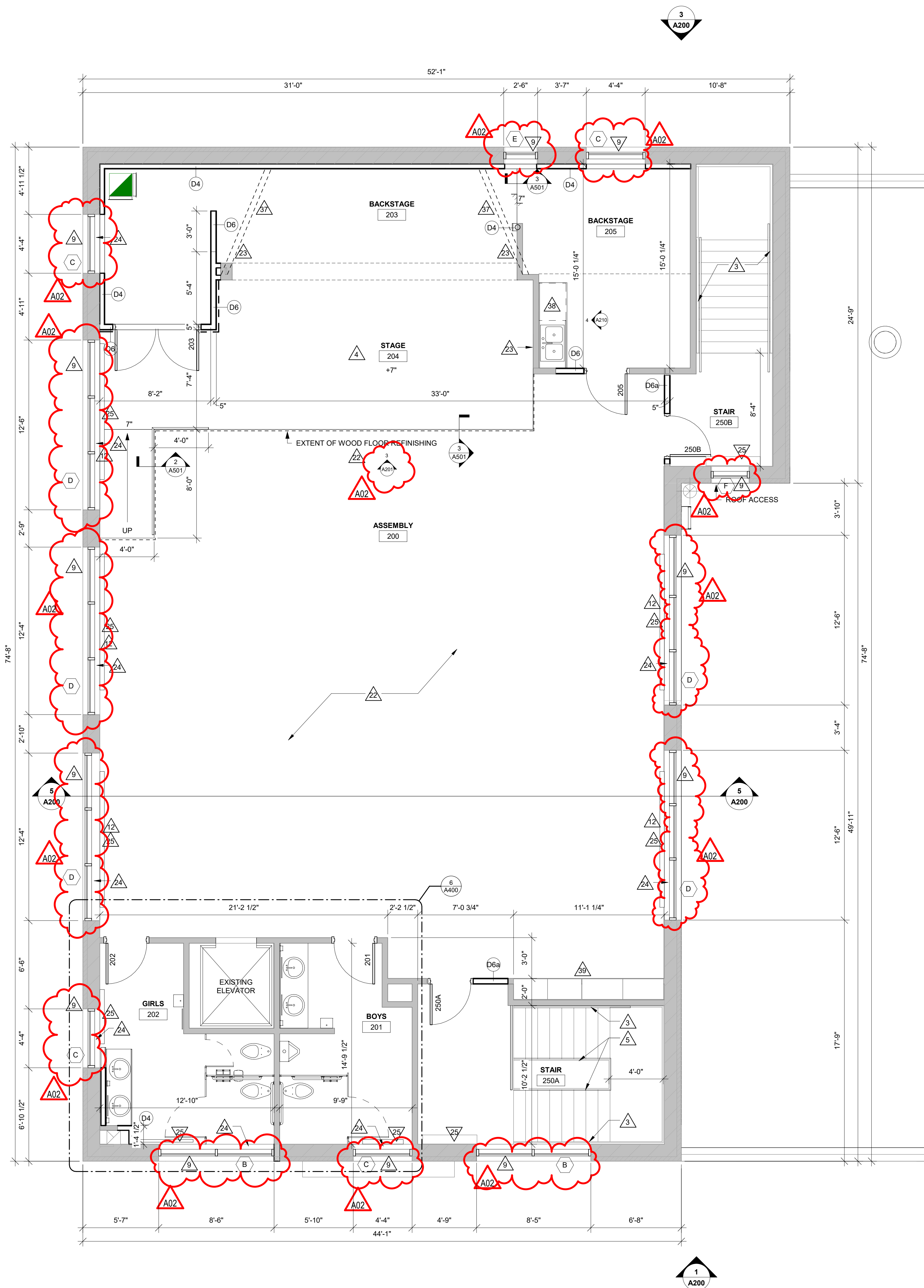
- COORDINATE CEILINGS WITH NEW LIGHT FIXTURES. PATCH ANY ABANDONED HOLES, ETC. FOR CLEAN FINISH
- EXISTING WOOD DOORS, TRIM, & FIXTURES: TAKE CARE TO REMOVE, CUT, AND REINSTALL EXISTING WOOD TRIM. INSTALL NEW WOOD TRIM TO MATCH EXISTING.
- PATCH & PAINT OLD DAMAGE TO WALLS, FLOOR, AND CEILING TO MATCH TEXTURE, COLOR, AND APPEARANCE OF EXISTING ADJACENT FINISH
- ALL DOORS IN NEW WALLS TO BE 4" FROM CORNER, UNLESS NOTED OTHERWISE.
- REFINISHING OF WOOD FLOORS AND REPURPOSING OF EXISTING TERRAZZO SEE ID SHEETS FOR SCOPE
- SEE CODE PLAN FOR WALL RATINGS AND FIRE EXTINGUISHER LOCATIONS.

LEGEND:

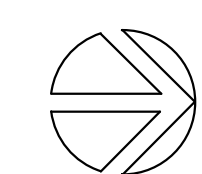
- (A) SYMBOL INDICATES WALL TYPE - SEE WALL TYPE DETAILS.
- (B) SYMBOL INDICATES WINDOW TYPE. SEE SHEET A201 FOR WINDOW FRAME ELEVATIONS.
- (C) SYMBOL INDICATES CONSTRUCTION NOTE THIS SHEET
- - - INDICATES WALLS WITH HIGH IMPACT GYP BD TO 4'-0"
- █ 1 HOUR WALL
- L= LINTEL SIZE- SEE 2A101

KEY NOTES PLAN

- EXISTING CONCRETE STEPS TO REMAIN.
- NEW CONCRETE STOOP AND RAMP. SEE SHEET A501.
- REPLACE EXISTING HANDRAILS WITH 1 1/2" STEEL WITH 12" EXTENSIONS @ TOP AND BOTTOM. SEE SHEET A501.
- NEW STAGE 8" F.F. SEE SHEET A500 FOR DETAIL.
- 1 1/2" STEEL GUARDRAIL CONNECTED TO EXISTING BALLUSTERS 42" TO TOP OF RAIL FROM TOP OF STAIR NOSING. 12" EXTENSIONS @ TOP AND BOTTOM. BAULSTERS & BRACKETS AS REQUIRED TO SUPPORT HANDRAIL. SEE SHEET A501.
- INFILL AT EXISTING EXTERIOR SLOPED SLAB WITH CONCRETE. MATCH FINISH FLOOR LEVEL.
- PLAN RECEPTION DESK WITH KNEE SPACE BELOW. SEE SHEET A210.
- REMOVE INTERIOR REMODELED BY OWNER.
- NEW THERMALLY BROKEN ALUMINUM FRAME WINDOW IN EXISTING OPENING.
- EXISTING OPENING TO MATCH EXISTING WALL FINISH - MASONRY CORE WITH STUCCO FINISH TO MATCH EXISTING CONSTRUCTION
- TOOTH IN BRICK TO FINISH AND REPAIR WALL ENDS. MATCH BRICK TEXTURE AND COLOR AND MORTAR TO EXISTING.
- INFILL 1" WOOD BASE W/ QUARTER ROUND. OVERLAP ANGLE CUT END OF NEW BASE WITH EXISTING. MATCH WOOD SPECIES AND FINISH OF ADJACENT BASE.
- STAINLESS STEEL 18 GA FLOOR TO ROOF DECK METAL HEAT SHIELD. ATTACH FLANGES W/ SS SCREWS TO EXISTING MASONRY. HOLD 2" OFF OF FACE OF BOILER VENT.
- INFILL MASONRY TO MATCH EXISTING EXTERIOR WALL CONSTRUCTION - MATCH BRICK AND MORTAR TEXTURE AND COLOR AT OPEN SIDE. PLASTER TO MATCH ADJACENT SURFACES AT STAIR SIDE.
- DOOR ACTUATOR AND CARD READER ON BOLLARD- SEE ELECTRICAL.
- DOOR ACTIVATION - SEE ELECTRICAL.
- GENERAL LOCATIONS FOR HOLES FROM ABANDONED PIPING. PLAN TO PATCH 12" HOLES IN TERRAZZO.
- CLEAN AND POLISH EXISTING TERRAZZO FLOOR. SEE ID SHEETS - PROTECT DURING CONSTRUCTION
- SAND AND REFINISH WOOD FLOORING- SEE ID SHEETS
- ROCK TAPE, MDO, AND PAINT EXISTING FRAMING AND WALL SURFACES AS REQUIRED FOR COMPLETE AND FINISHED APPEARANCE
- NEW SOLID SURFACE SILL - SEE DETAIL 2A500.
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- NEW FLOOR MOP BASIN - SEE PLUMBING
- MOP AND BROOM HOLDER - SEE A400
- CLEAN EXISTING METAL PLATE
- SEE DEMO SHEETS FOR SCOPE OF NEW 4" CONCRETE FLOOR - RECESS CONCRETE SUCH THAT NEW TILE FLOOR IS FLUSH WITH ADJACENT FLOORING
- NEW 5/8" GYP BD ON EXISTING WOOD STUDS
- SECURE EXISTING POCKET WINDOW W/ 2 LAYERS OF 3/4" PLYWOOD (PAINT)
- TOP OF WALL AT 42"
- LINE OF BULKHEAD ABOVE
- FRP PANEL ABOVE COUNTER
- EXISTING CLOSET DOORS TO REMAIN. ADD TRIM TO FRAME
- INSTALL SALVAGED CHAIR RAIL AT INFILLED WALL LOCATION. MATCH WOOD SPECIES AND STAIN COLOR.
- INFILL W/ CMU ALLOW FOR GYP VENEER PLASTER @ ROOM SIDE
- DECK FLOOR AS REQUIRED TO MATCH ADJACENT CONCRETE FLOOR
- GENERAL LOCATION OF HOLES FROM ABANDONED PIPING TO PATCH 12" HOLES IN CONCRETE.



2 SECOND FLOOR REMODEL PLAN
1/4" = 1'-0"





Consultant:

LEGEND:

	LIGHT FIXTURE - SEE ELECTRICAL LOCATIONS & SIZES
	LIGHT FIXTURE - SEE ELECTRICAL
	LIGHT FIXTURE - SEE ELECTRICAL
	LIGHT FIXTURE - SEE ELECTRICAL
	LIGHT FIXTURE - SEE ELECTRICAL
	SUPPLY - SEE MECHANICAL
	RETURN - SEE MECHANICAL

GENERAL NOTES:

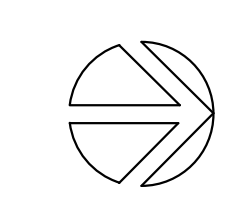
- REFER TO MECHANICAL AND PLUMBING CEILING ACCESS PANEL LOCATIONS & SIZES.
- SEE MECHANICAL FOR CEILING GRILLE INFORMATION.
- SEE ELECTRICAL FOR LIGHTING TYPES.
- ALL INTERIOR PARTITIONS TO EXTEND TO BOTTOM OF DECK UNLESS OTHERWISE NOTED. CLOSE DECK FLUTES AT TOP OF WALL WITH NEOPRENE FILLER OR FIRESTOPPING SYSTEM. IN GYPSUM PARTITIONS SEE SPECIFICATION FOR LEVEL OF FINISH ABOVE FINISHED CEILING.
- ALL REMAINING ANNULAR SPACE AROUND ITEMS PENETRATING WALLS SHALL BE NEATLY SEALED. PENETRATIONS OF FIRE RATED WALLS SHALL BE FIRESTOPPED WITH THE SAME AS THE WALL.
- WHERE NO CEILING EXPOSED STRUCTURE UNLESS NOTED OTHERWISE, CONTRACTOR SHALL KEEP ALL MEP ABOVE OR EVEN WITH THE LEVEL OF THE LIGHTS. MEP SHALL RUN IN NEAT ORDERLY APPEARANCE GENERALLY PARALLEL OR PERPENDICULAR TO FINISHED STRUCTURE. WALLS IN THESE ROOMS TO RUN TO DECK AND ALL STRUCTURE / MEP COMPONENTS ARE TO BE PAINTED.
- ALL EXTERIOR EXPOSED STEEL LINTELS/HEADERS SHALL BE GALVANIZED, PRIMED AND PAINTED UNLESS NOTED OTHERWISE.
- REFER TO INTERIOR DESIGN SHEETS FOR OTHER FINISHES.
- HANGERS AND SUPPORTS: MECHANICAL, PLUMBING, ELECTRICAL AND OTHER CABLING CONTRACTORS SHALL NOT HANG OR SUPPORT THE WORK FROM THE ROOF DECK IN ANY FASHION. CONDUIT RUNS SHALL NOT BE LAID ON ROOF DECK NOR LAID ON THE STRUCTURAL SUPPORT THAT SUPPORTS THE ROOF DECK. NO FASTENERS SHALL PENETRATE ROOF DECK BY ANY TRADE OTHER THAN THE ROOFING CONTRACTOR FOR THE NEW ROOF SYSTEM.
- CONFIRM EXACT LOCATION OF OVERHEAD PROJECTORS AND OTHER CEILING MOUNTED EQUIPMENT WITH OWNER / MANUFACTURER PRIOR TO INSTALLATION.
- CEILING TYPES INSTALLED AS NOTED ON PLANS. SEE SPECIFICATIONS FOR ADDITIONAL SYSTEM INFORMATION. ACT-1= SQUARE EDGE, ACT-2=REGULAR EDGE, ACT-3=VINYL FACED GYP.

KEY NOTES RCP

- EXISTING CEILING - ADHERE (6) LOOSE TILES, SEAL WATER STAINS AND PAINT.
- CEILING OPEN TO ROOF DECK ABOVE, CLEAN AND PAINT.
- NEW 2 X 2 ACT - SEE SPEC.
- GYP SOFFIT ABOVE OPENING.
- AREA OF STAGE LIGHTING - COORDINATE WITH OWNER AND ELECT.
- INSTALL GYP BD ON EXISTING WOOD FRAMING.
- NOT USED.
- CLEAN AND PAINT EXISTING CEILING, REPAIR ANY DAMAGE.
- REPAIR DAMAGED CEILINGS AND FIRESTOP.
- EXISTING ROOF TO REMAIN, REMOVE / PATCH EXISTING ROOFING AS REQUIRED FOR NEW RTU EQUIPMENT.
- CURTAIN TRACK MOUNTED TO CEILING GRID (ALTERNATE).



1 FIRST FLOOR REFLECTED CEILING PLAN
1/4" = 1'-0"



SCHOOL DISTRICT OF LA CROSSE
7 RIVERS CHARTER SCHOOL
Project Location: 228 5TH AVENUE SOUTH
LA CROSSE, WI 54601
Sheet Title: FIRST FLOOR REFLECTED CEILING PLAN

Project Title:
HSR Project Number:
Project Date:
Drawn By:
Key Plan:

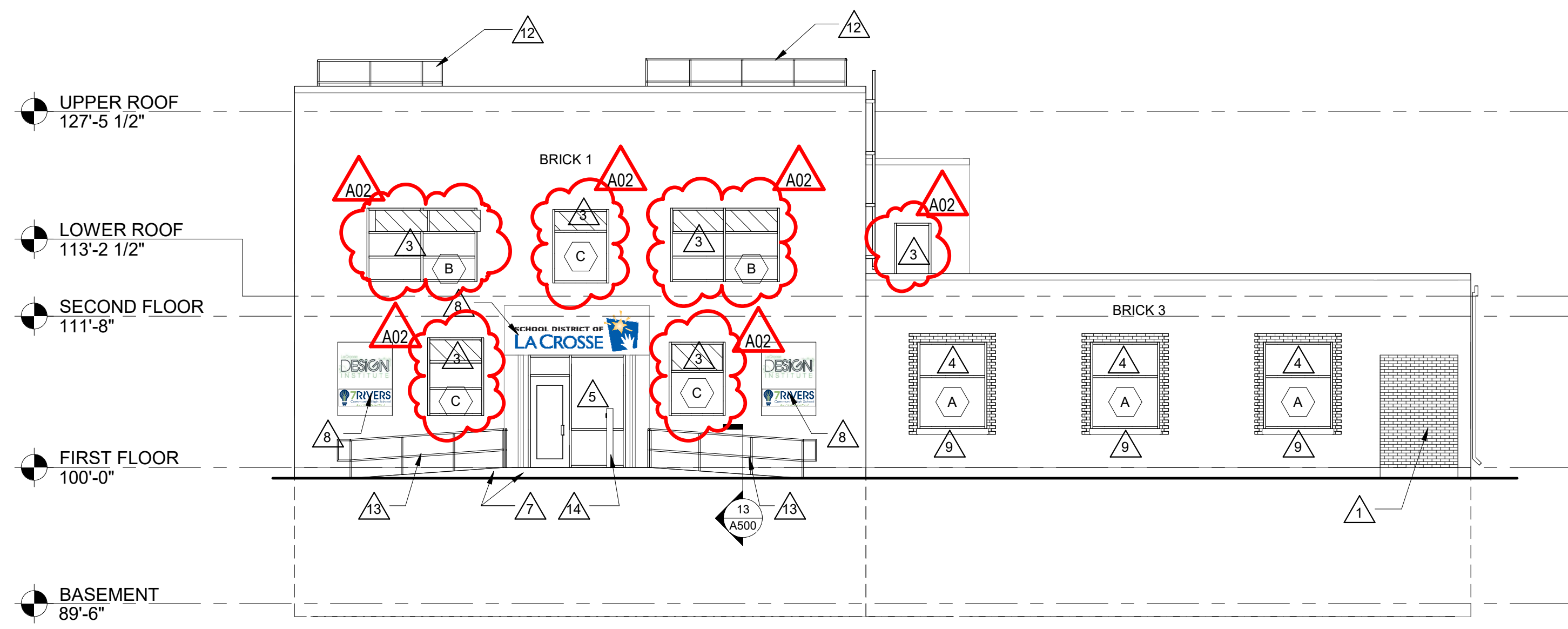
19003
AUG 27, 2019
MPL

Revisions:

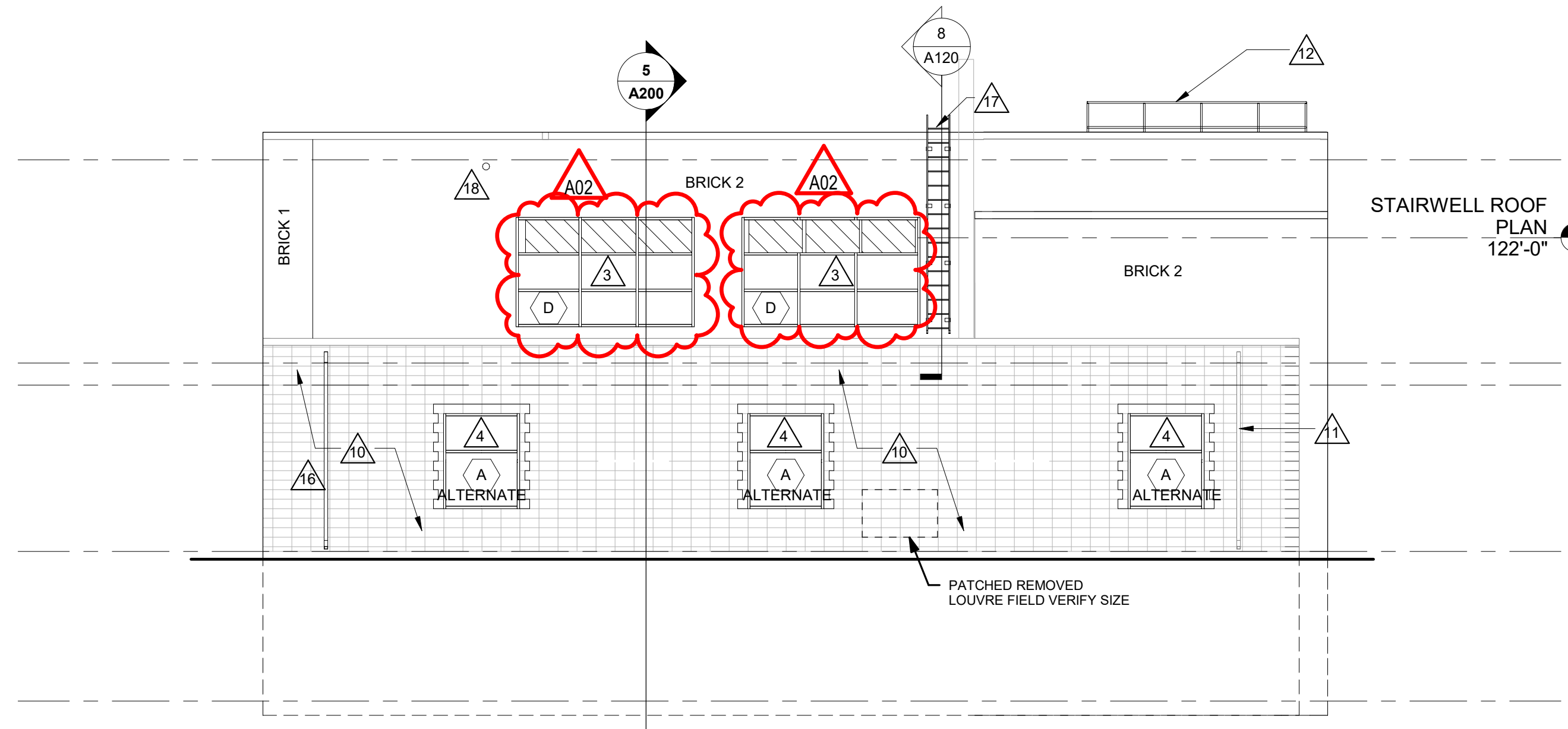
No.	Description	Date
A02	Addendum #2	9-18-2019

Graphic Scale:
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Last Update:
9/17/2019 2:03:00 PM

A111



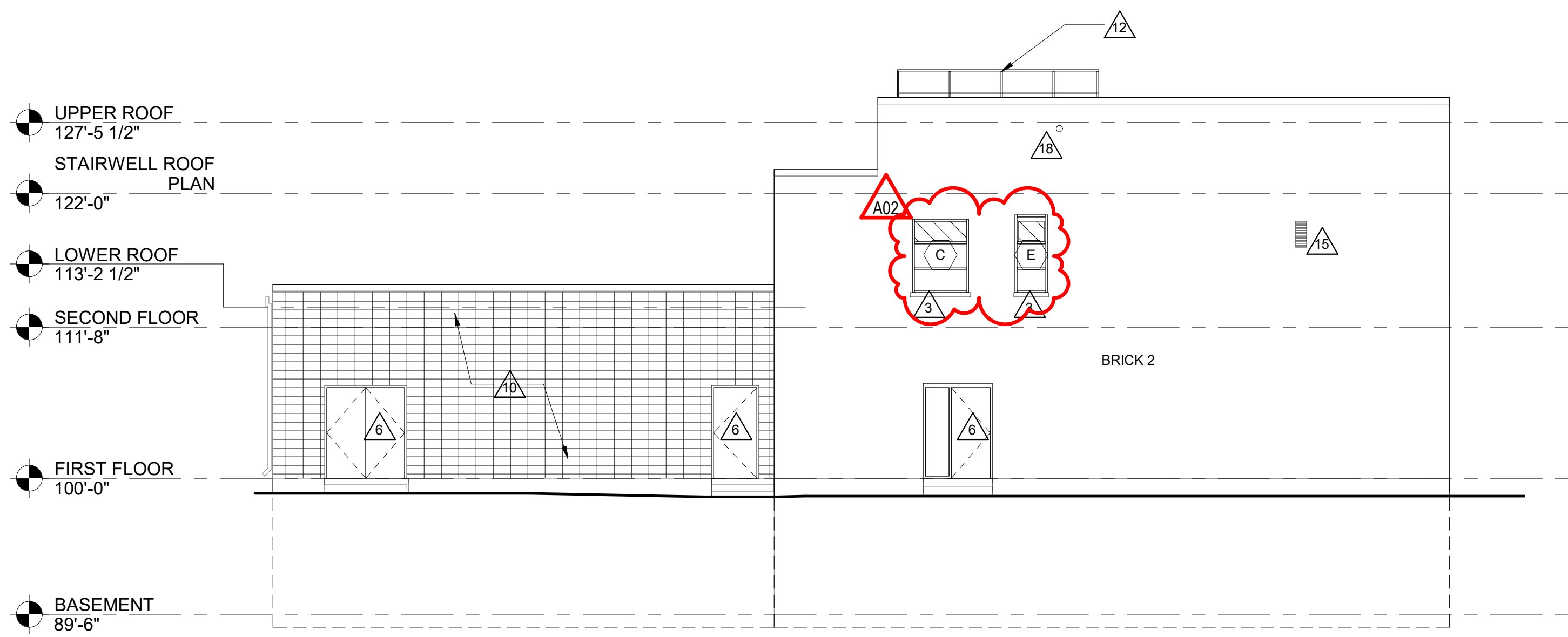
1 EAST ELEVATION
1/8" = 1'-0"



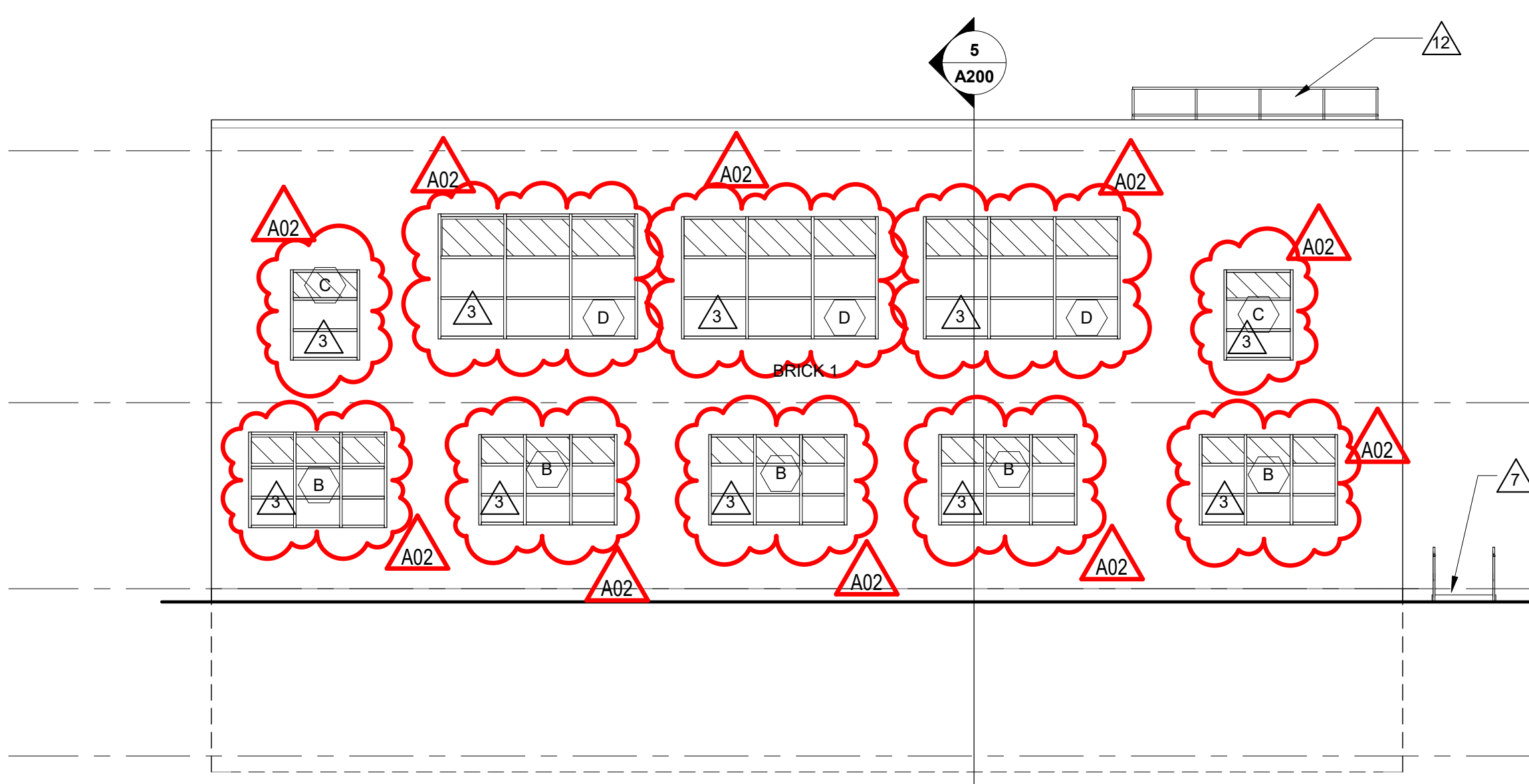
2 NORTH ELEVATION
1/8" = 1'-0"

GENERAL NOTES:
A BRICK COURSING: RUNNING BOND TO MATCH ADJACENT. SEE SPECIFICATIONS FOR BRICK COLORS.
LEGEND:
A KEYNOTE TAG
B WINDOW TAG, SEE SHEET A600 FOR FRAME ELEVATIONS

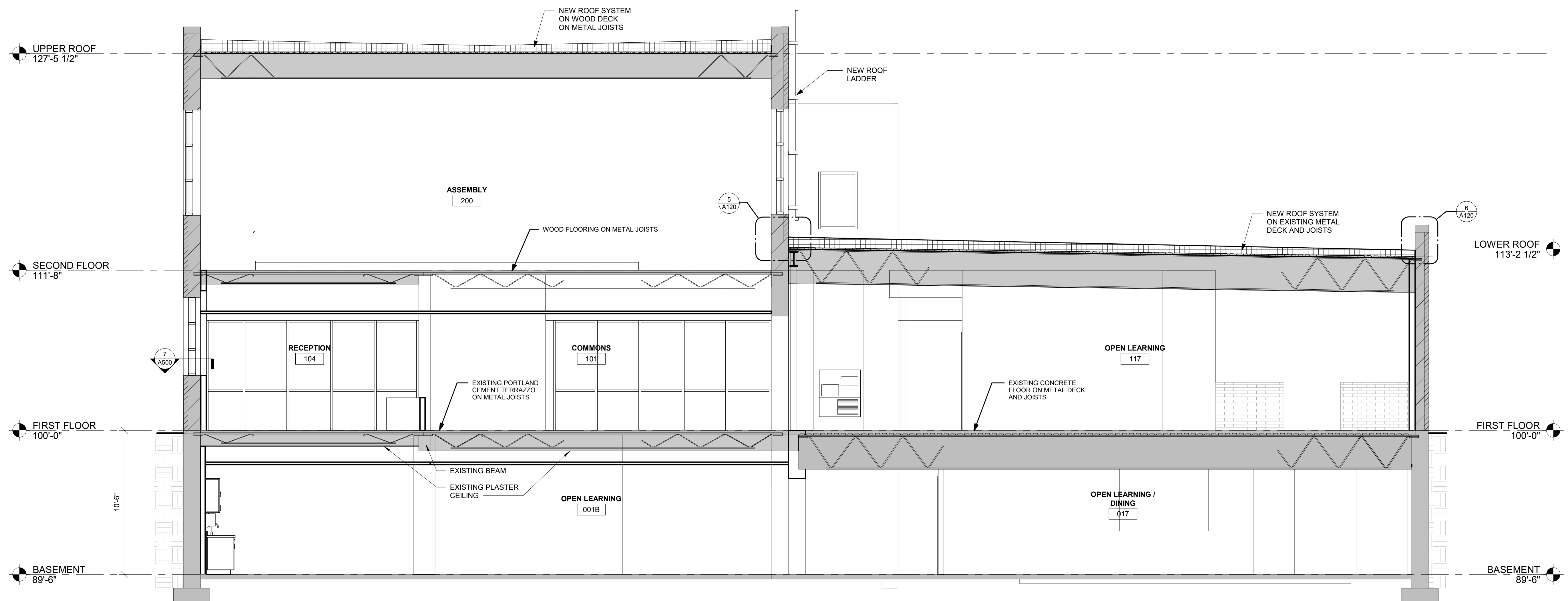
KEY NOTES ELEVATION
1 NEW BRICK AND CMU IN OPENING. MATCH ADJACENT BRICK.
2 NEW ALUMINUM THERMALLY BROKEN WINDOW IN EXISTING OPENING.
3 NEW ALUMINUM THERMALLY BROKEN WINDOW IN EXISTING BRICK CMU WALL. SAW TOOTH IN BRICK CMU TO MATCH EXISTING.
4 NEW ALUMINUM ENTRY DOOR INSTALLED IN EXISTING OPENING. FIELD VERIFY FIT.
5 NEW INSULATED HM DOOR AND HM FRAME INSTALLED IN EXISTING OPENING. FIELD VERIFY FIT.
6 NEW CONCRETE 1:20 SLOPE RAMP AND STOOP.
7 SIGNAGE: BY OWNER (N/C).
8 NEW CAST STONE SILL. MATCH PROFILE OF EXISTING.
9 CLEAN, PRIME AND PAINT EXISTING CMU.
10 EXISTING SCUPPER WITH NEW OPEN-FACE SHEET METAL DOWNSPOUT.
11 NEW PROTECTION RAILING. SEE SHEET A120.
12 NEW PIPE GUARD RAILING AT ENTRANCE RAMP. SEE DETAIL.
13 DOOR ACTUATOR ON BOLLARD. SEE ELECTRICAL.
14 CLEAN AND PAINT EXISTING LOUVER.
15 NEW SCUPPER AND OPEN-FACE SHEET METAL DOWNSPOUT.
16 NEW ROOF ACCESS LADDER. SEE BA120.
17 OVERFLOW LAMBS TONGUE.



3 WEST ELEVATION
1/8" = 1'-0"



4 SOUTH ELEVATION
1/8" = 1'-0"



5 BUILDING SECTION
1/4" = 1'-0"

No.	Description	Date
A01	Addendum #1	9-12-2019
A02	Addendum #2	9-18-2019



Consultant:

SCHOOL DISTRICT OF LA CROSSE
7 RIVERS CHARTER SCHOOL
Project Location: 228 5TH AVENUE SOUTH
LA CROSSE, WI 54601
Interior Elevations

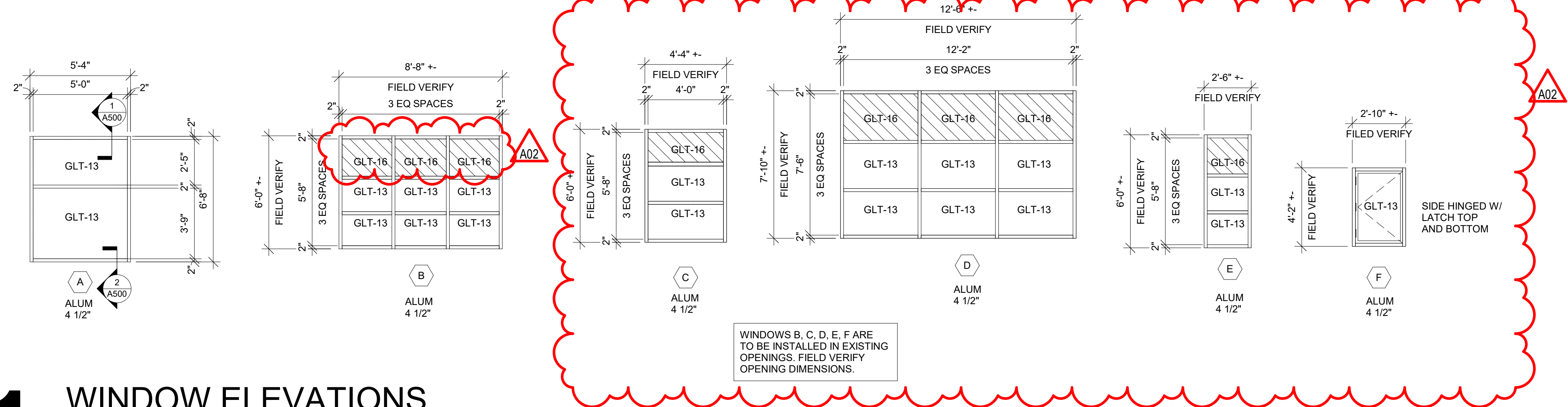
Project Title:
HSR Project Number:
Project Date:
Drawn By:
Key Plan:

19003
AUG 27, 2019
MPL

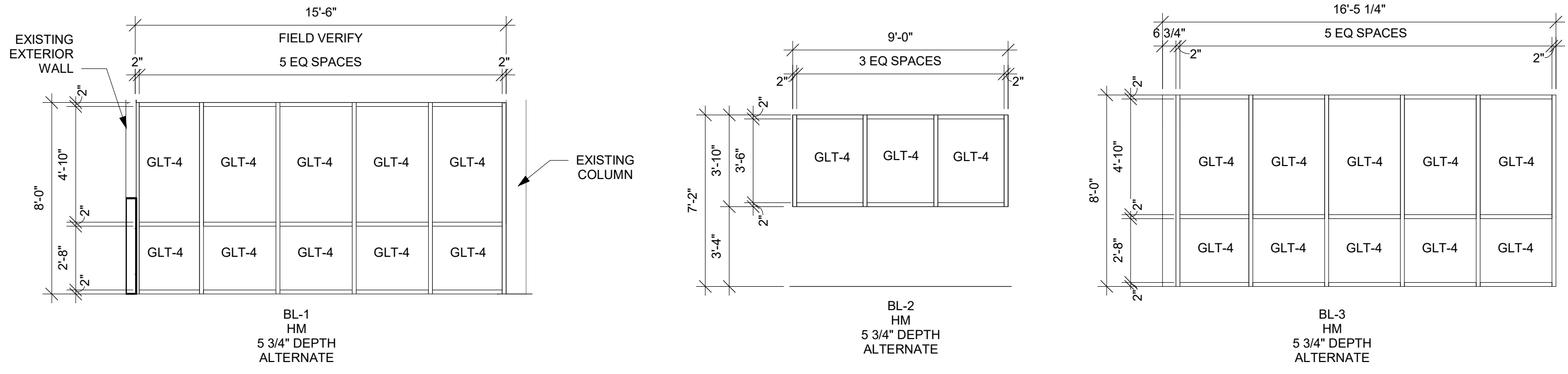
No.	Description	Date
A01	Addendum #1	9-12-2019
A02	Addendum #2	9-18-2019

Graphic Scale:
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Last Update:
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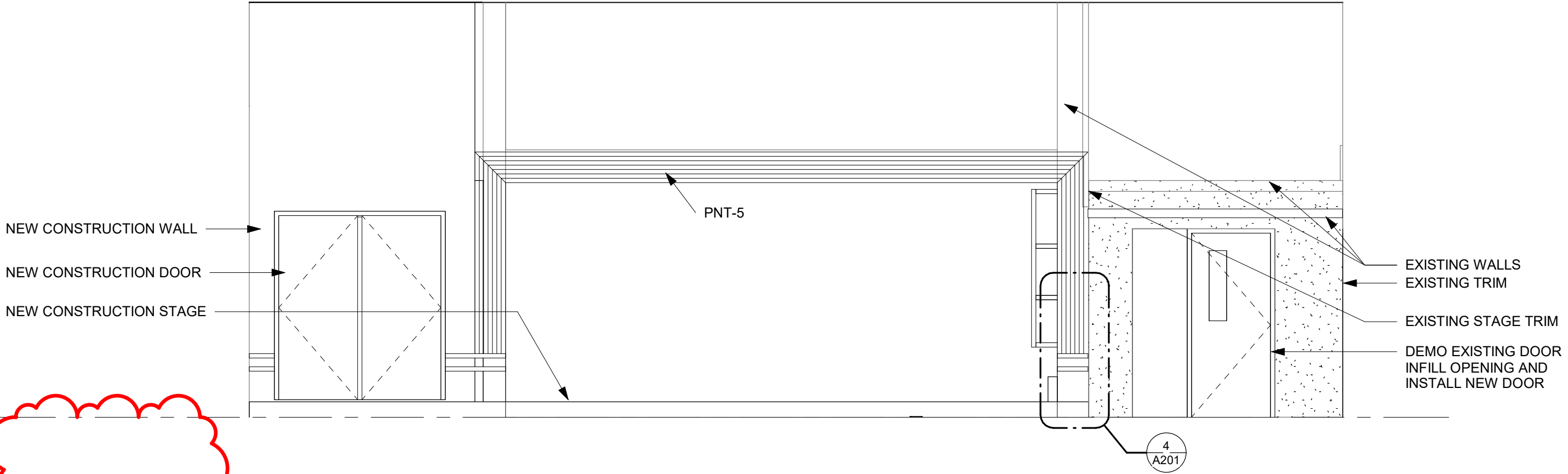
A201



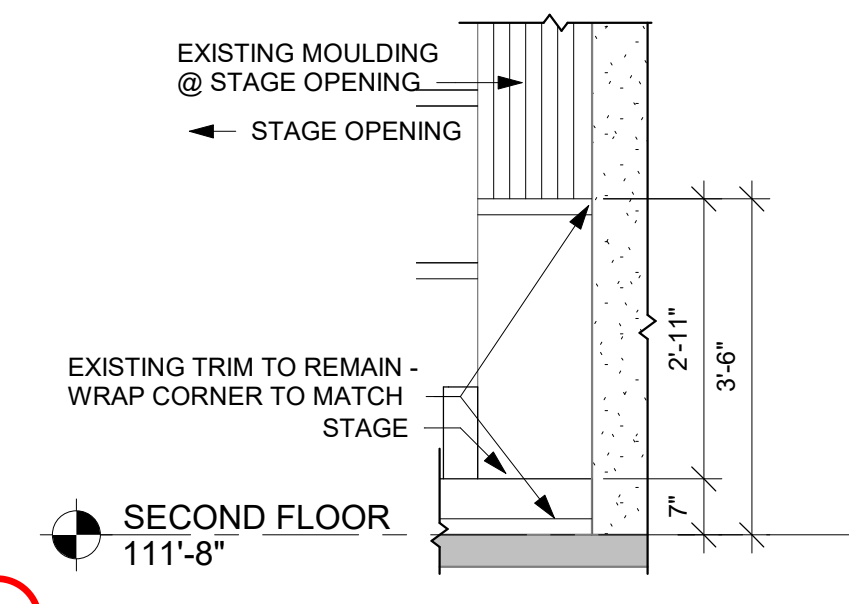
1 WINDOW ELEVATIONS
1/4" = 1'-0"



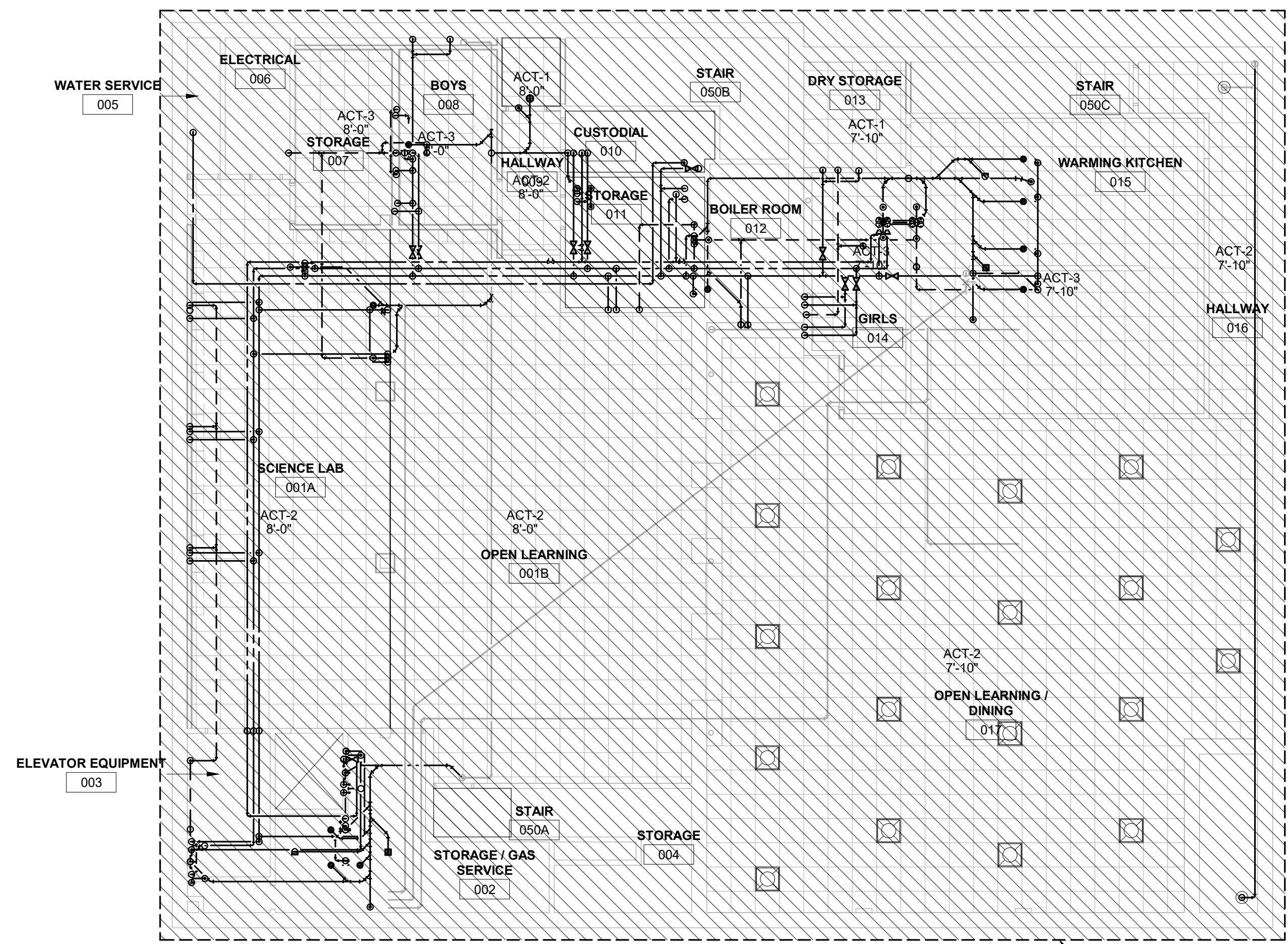
2 BORROWED LIGHT FRAMES
1/4" = 1'-0"



3 STAGE ELEVATION
1/4" = 1'-0"

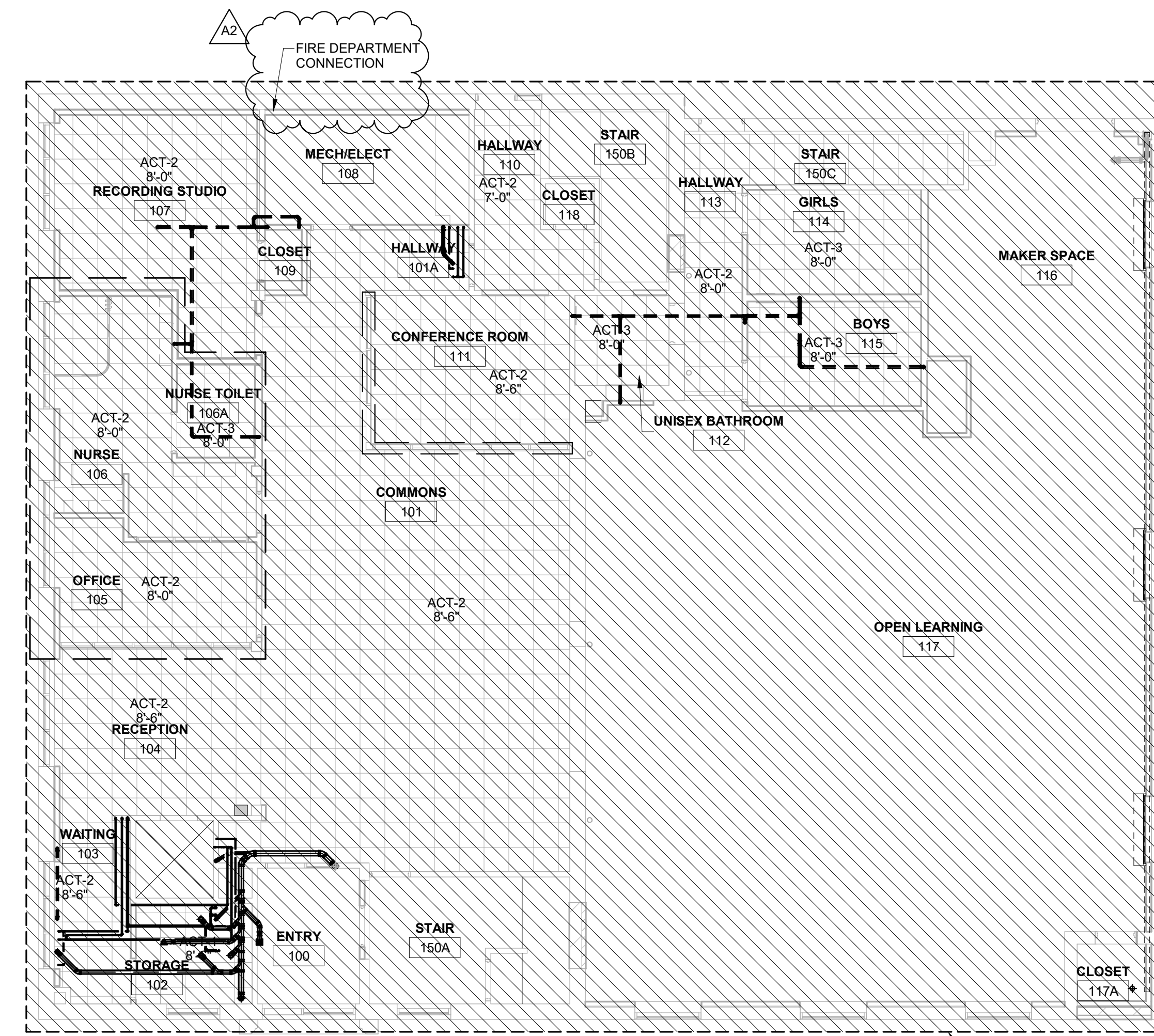


4 STAGE MOULDING DETAIL
1/2" = 1'-0"



1 BASEMENT FLOOR PLAN
1/8" = 1'-0"

NEW FIRE SPRINKLER SYSTEM
WITHIN THIS AREA AS REQUIRED.
SEE FIRE SPRINKLER NOTES.



2 FIRST FLOOR PLAN
1/8" = 1'-0"

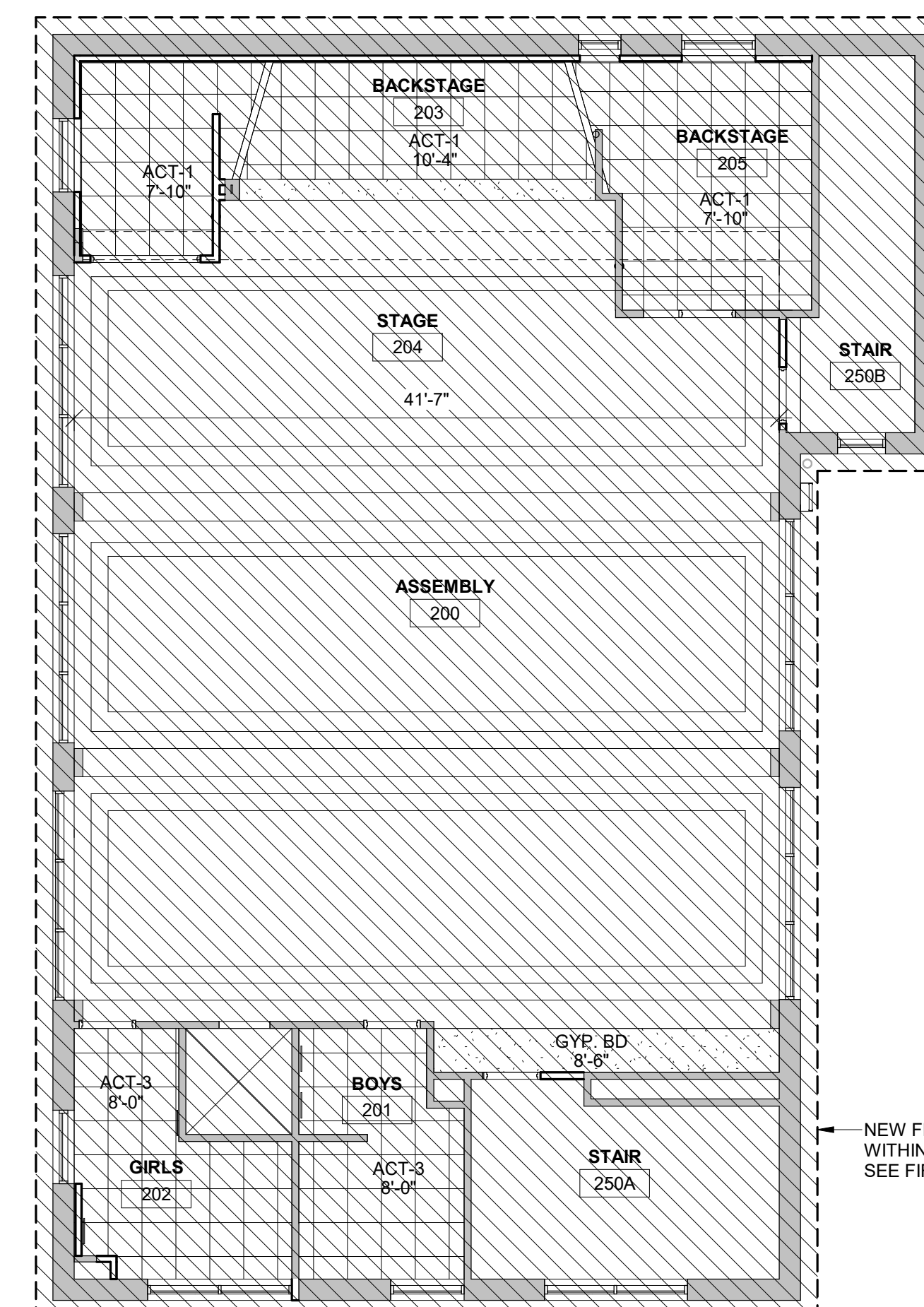
NEW FIRE SPRINKLER SYSTEM
WITHIN THIS AREA AS REQUIRED.
SEE FIRE SPRINKLER NOTES.

FIRE PROTECTION NOTES:

1. FIRE SPRINKLER SYSTEM TO ACCOMMODATE NEW ROOM & CEILING LAYOUTS IN CONFORMANCE WITH REQUIREMENTS OF THE STATE OF WISCONSIN, INTERNATIONAL BUILDING CODE, INTERNATIONAL FIRE CODE, NFPA AND INSURANCE SERVICES OFFICE.
2. REFER TO DRAWINGS FOR PROPER COORDINATION.
3. INSTALL SPRINKLER HEADS IN CENTER OF CEILING TILES. USE OF FLEXIBLE STAINLESS STEEL HOSE TO SPRINKLER HEAD AND METAL BRACKET FOR CLIPPING TO CEILING T-BARS IS ACCEPTABLE.
4. ALL PIPING SHALL BE CONCEALED EXCEPT WHEN LOCATED IN UNFINISHED SPACES, SUCH AS STORAGE AND MECHANICAL EQUIPMENT ROOMS.
5. ALLOW FOR THREE ADDITIONAL HEADS BEYOND MINIMUM DESIGN FOR ANY SPECIAL STORAGE REQUIREMENTS.
6. ALL WORK TO BE SCHEDULED AS DIRECTED BY OWNER. COORDINATE AS REQUIRED.
7. REVIEW, COORDINATE, AND SCHEDULE INSTALLATION OF WORK WITH OTHER TRADES.
8. REFER TO ARCHITECTURAL DRAWINGS FOR ADDITIONAL INFORMATION AFFECTING THE WORK.
9. IT IS THE INTENT OF THESE DRAWINGS THAT THE FIRE SPRINKLER SYSTEM BE COMPLETE, WORKING, TESTED, AND OPERATIONAL.
10. INCLUDE ALL RELATED CUTTING, PATCHING AND/OR REMOVAL AND REPLACEMENT OF EXISTING WALLS, FLOORS & CEILINGS UNLESS OTHERWISE INDICATED.
11. WHEN PIPING PASSES THROUGH SMOKE SEPARATION ASSEMBLIES, DRAFT STOPPING CONSISTING OF MINERAL WOOL OR FIBERGLASS INSULATION SHALL BE PACKED AROUND PIPING PENETRATING FACE OF ASSEMBLY. SEE SPECIFICATION SECTION 07 84 00 FOR PIPING PENETRATIONS THROUGH FIRE RATED ASSEMBLIES.
12. IDENTIFY PIPING LOCATED ABOVE CEILINGS PRIOR TO CEILING GRID INSTALLATION.

FIRE STOPPING NOTE:

FIRE STOPPING: COMPLY WITH STATE REGULATIONS REGARDING THE PROTECTION OF FIRE-RESISTIVE WALLS, FLOORS, CEILINGS OR ROOFS, PENETRATED BY PIPING. PENETRATIONS INTO OR THROUGH FIRE RATED WALLS, FIRE BARRIERS, SHAFT AND VERTICAL EXIT ENCLOSURES, FIRE PARTITIONS, SMOKE BARRIERS, AND HORIZONTAL ASSEMBLIES SHALL COMPLY WITH SECTION 711 OF THE IBC. PENETRATIONS SHALL BE PROTECTED BY AN APPROVED PENETRATION FIRE STOP SYSTEM INSTALLED AS TESTED IN ACCORDANCE WITH ASTM E 814, WITH A MINIMUM POSITIVE PRESSURE DIFFERENTIAL OF 0.01 INCH OF WATER AND SHALL HAVE AN F RATINGS OF NOT LESS THAN THE REQUIRED FIRE-RESISTANCE RATING OF THE WALL PENETRATED. THE INSTALLER SHALL BE TRAINED AND CERTIFIED BY THE FIRE STOPPING MANUFACTURER. A COPY OF THIS CERTIFICATION, SHOWING THE INSTALLERS NAME, SHALL BE PROVIDED TO THE OWNER.



3 SECOND FLOOR PLAN
1/8" = 1'-0"

NEW FIRE SPRINKLER SYSTEM
WITHIN THIS AREA AS REQUIRED.
SEE FIRE SPRINKLER NOTES.

No.	Description	Date
A2	Addendum #2	9/17/2019



REMOVAL NOTES:

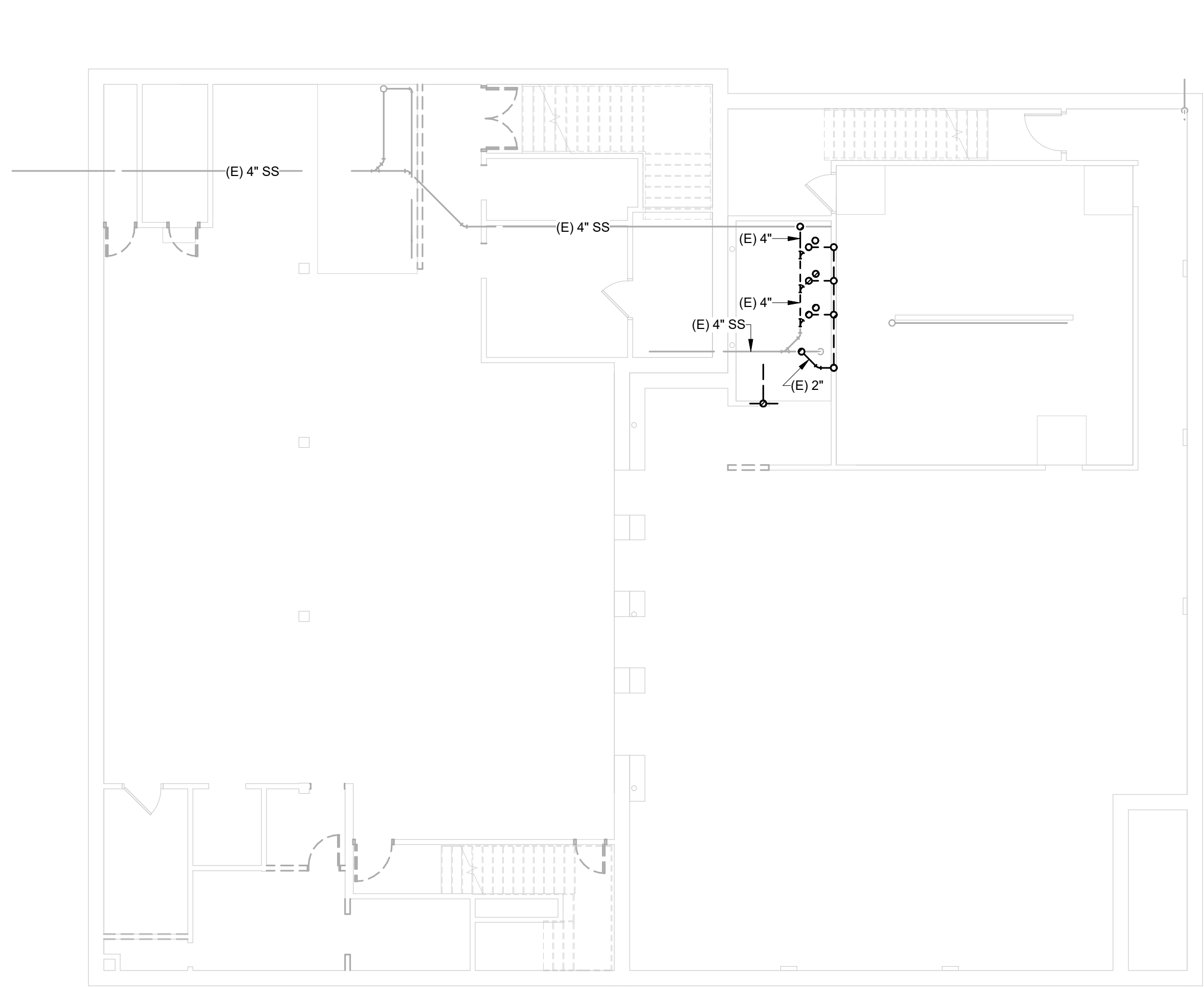
A. REMOVE ALL EXISTING PLUMBING, (INCLUDING PIPING IN WALLS BEING REMOVED, CHASES BEING REMOVED, OR ABOVE CEILING), FIXTURES, EQUIPMENT, DEVICES, ETC. WITHIN BUILDING, INCLUDING BUT NOT LIMITED TO THAT WHICH IS SHOWN. FIELD VERIFY LOCATION AND SIZE OF PIPING, FIXTURES, ETC., AS REQUIRED. OTHER PIPING EXISTING, AND IS NOT SHOWN OR INDICATED TO BE RE-USED, SHALL BE REMOVED. DISPOSE OF ALL REMOVED MATERIAL OFF SITE.

B. PIPING IN REMAINING WALLS OR CHASES CONNECTED TO PLUMBING FIXTURES OR EQUIPMENT REMAINING SHALL NOT BE REMOVED. SEE REMODELING PLAN FOR RECONNECTION.

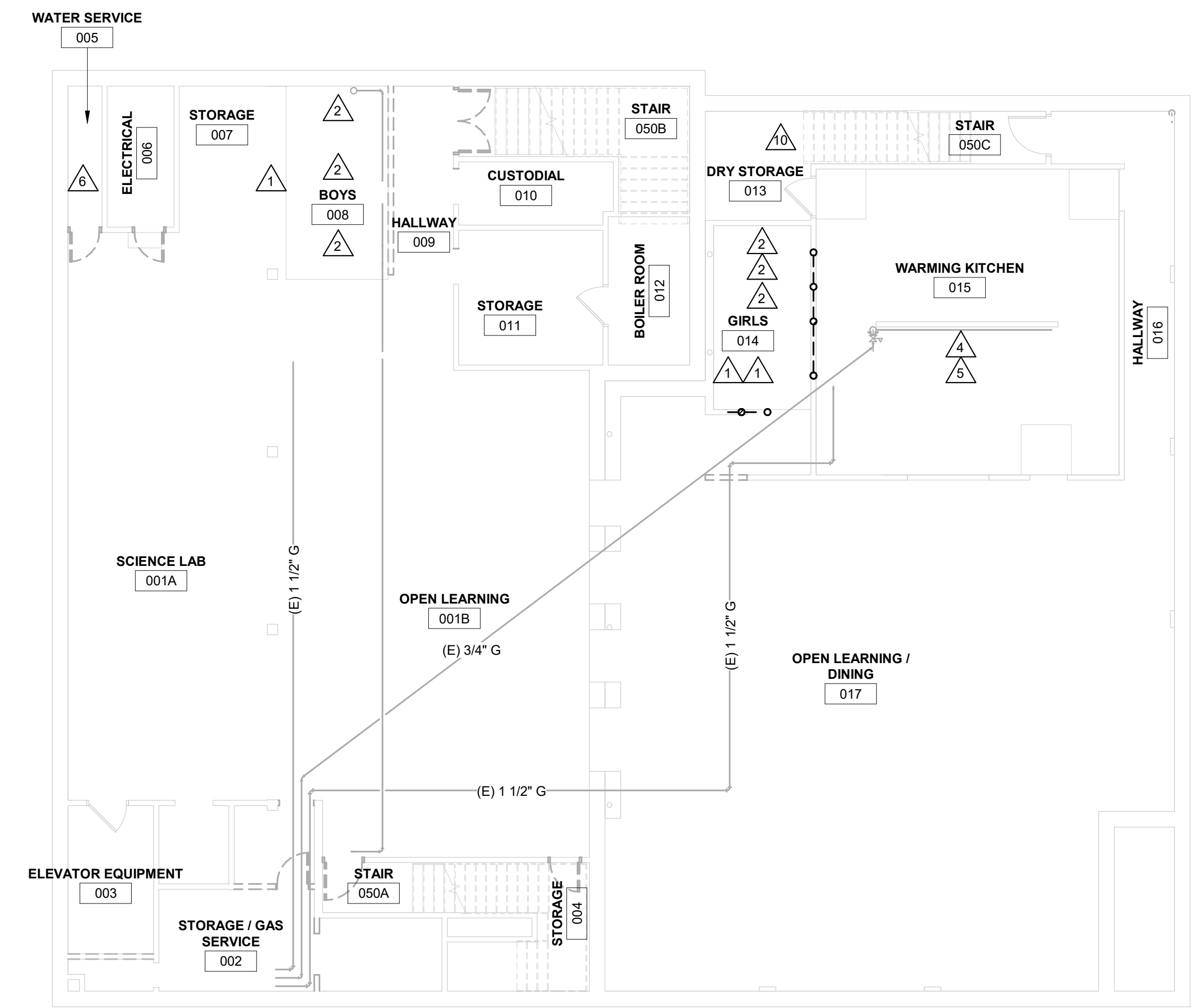
C. REMOVE THE LISTED PLUMBING FIXTURES OR EQUIPMENT AND RESPECTIVE WATER, WASTE, VENT, GAS, AND COMPRESSED AIR PIPING TO POINT OF RECONNECTION IN REMODELING OR TO MAIN, UNLESS PIPING IS BELOW FLOORS ON GRADE OR ABOVE NON-ACCESSIBLE CEILING, AND CAP/PLUG BELOW FLOOR, ABOVE CEILING AND/OR BEHIND REMAINING WALLS AS REQUIRED. OR AS OTHERWISE SHOWN OR INDICATED ON PLANS. PATCH TO MATCH EXISTING FINISHES, UNLESS OTHERWISE SHOWN OR INDICATED ON ARCHITECTURAL PLANS.

D. ALL FIXTURES AND RELATED EQUIPMENT (FAUCETS, DRAIN ASSEMBLIES, MIXING VALVES, CHAIR SUPPORTS, CONTROLS, ETC.) REMOVED SHALL BE FURNISHED TO THE OWNER OR DISPOSED OF AT THEIR DIRECTION. CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO AVOID DAMAGE DURING FIXTURE REMOVAL INCLUDING STALL TYPE URINALS. COORDINATE WITH THE OWNER.

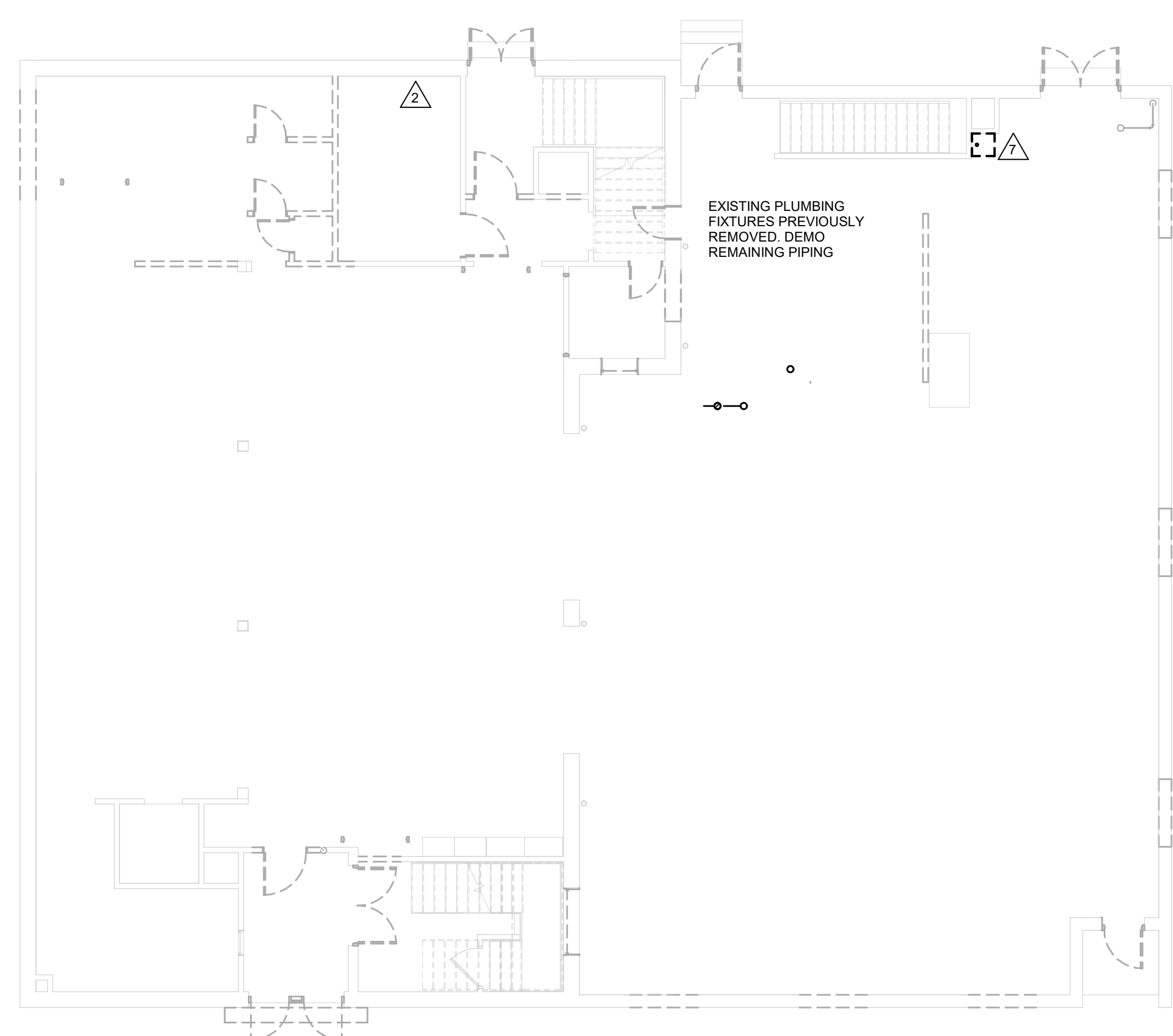
FIXTURE REMOVAL	
TRIANGLE NUMBER	DESCRIPTION
1	LAVATORY
2	WATER CLOSET
3	URINAL
4	KITCHEN PLUMBING FIXTURES TO REMAIN, APPLIANCES AND KITCHEN EQUIPMENT TO BE REMOVED. SEE ARCHITECTURAL.
5	KITCHEN PLUMBING FIXTURES TO REMAIN, APP ALL DWV AND WATER DISTRIBUTION PIPING TO KITCHEN TO BE OPERABLE UPON COMPLETION. APPLIANCES AND KITCHEN EQUIPMENT TO BE REMOVED. SEE ARCHITECTURAL.
6	ALL GALVANIZED WATER DISTRIBUTION PIPING TO BE REPLACED.
7	MOP BASIN
8	EXISTING PIPING FROM PREVIOUSLY REMOVED FIXTURES
9	STORM PIPING
10	SUMP PUMP



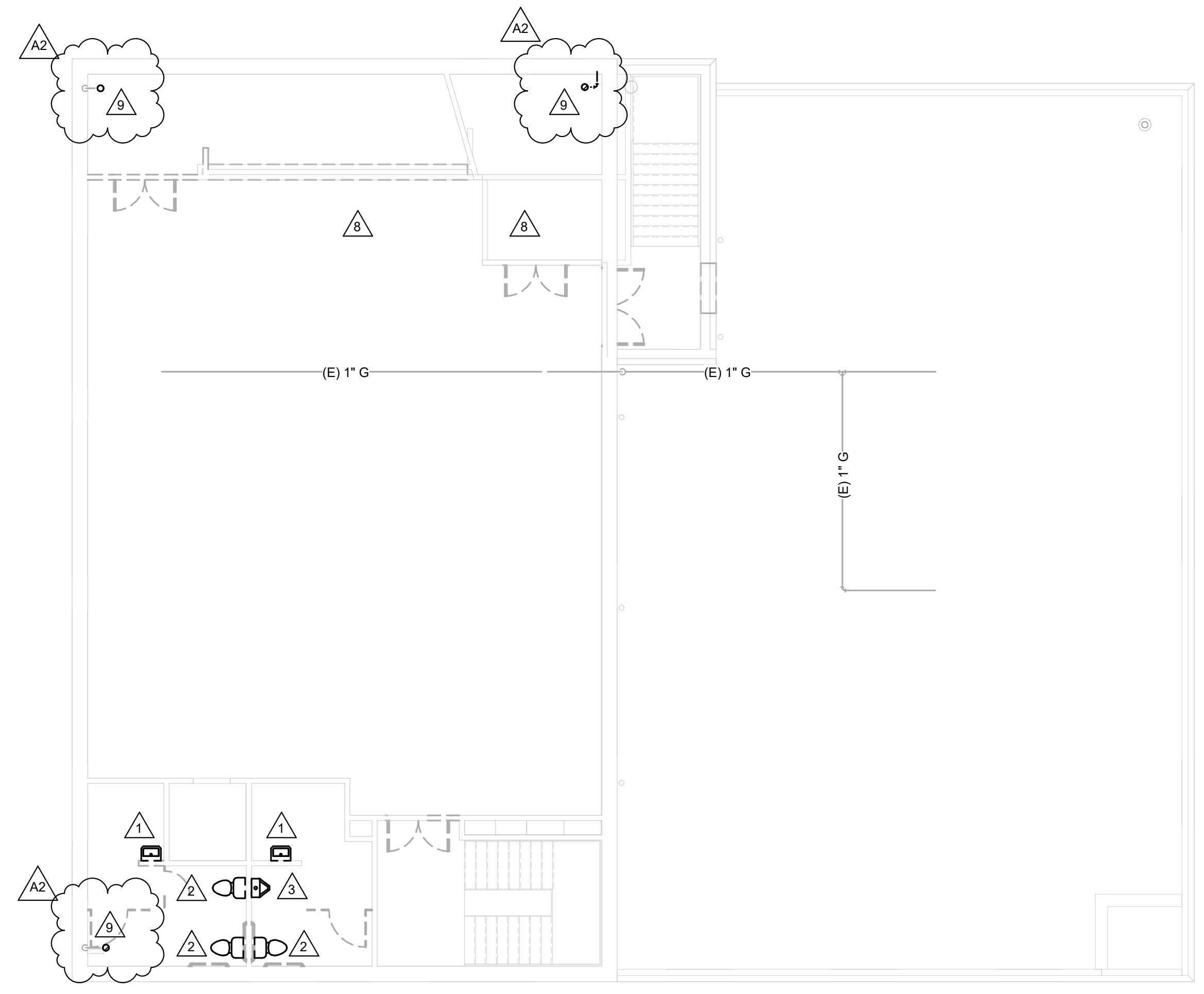
1 UNDER FLOOR DEMO PLAN
1/8" = 1'-0"



2 BASEMENT FLOOR DEMO PLAN
1/8" = 1'-0"



3 FIRST FLOOR DEMO PLAN
1/8" = 1'-0"



4 SECOND FLOOR DEMO PLAN
1/8" = 1'-0"

Project Title: **SCHOOL DISTRICT OF LA CROSSE
7 RIVERS CHARTER SCHOOL**

Project Location: **228 5TH AVENUE SOUTH
LA CROSSE, WI 54601**

Sheet Title: **DEMOLITION PLANS**

HSR Project Number: **19003**

Project Date: **AUG 27, 2019**

Drawn By: **RGJ**

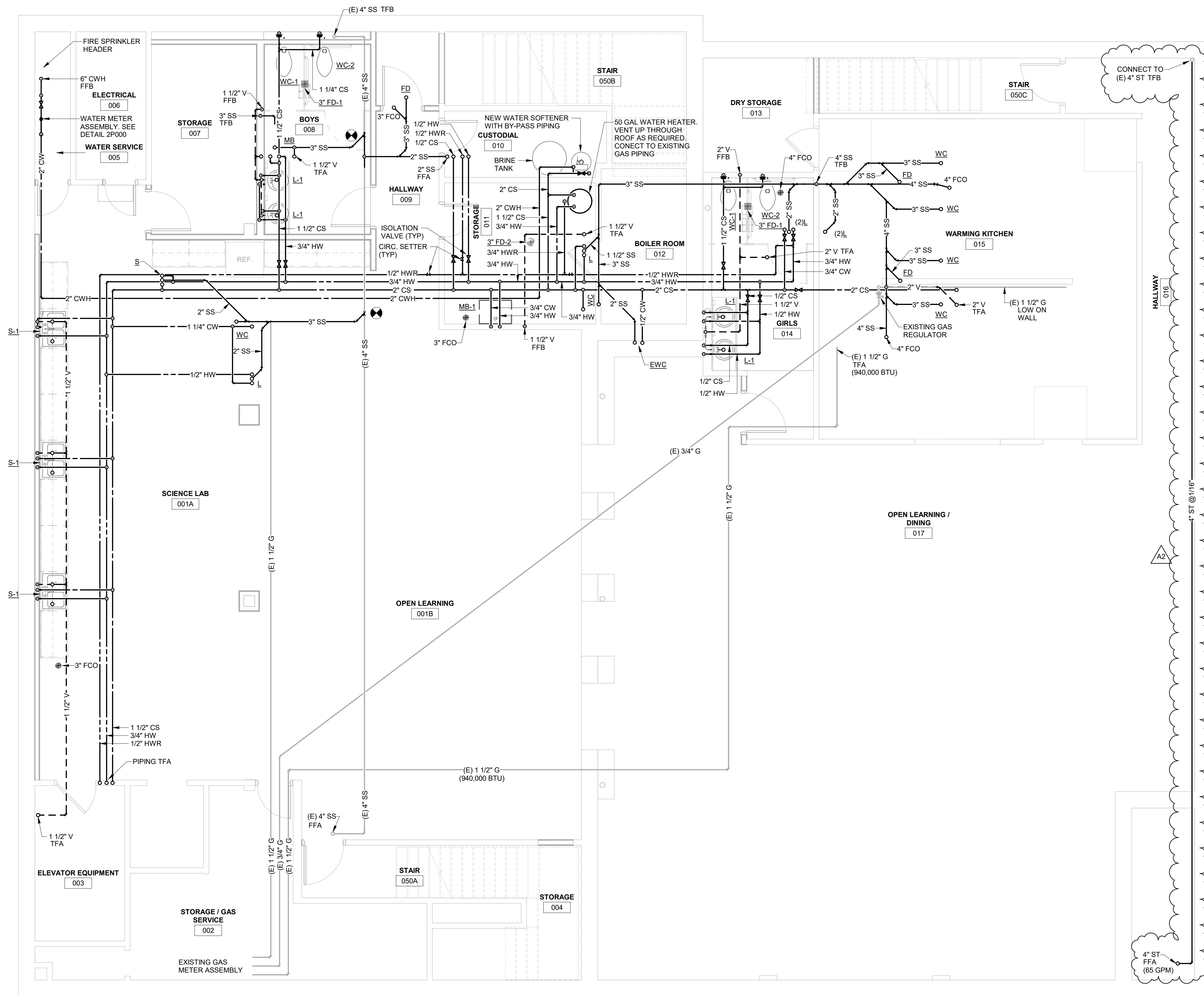
Key Plan:

No.	Description	Date
A2	Addendum #2	9/17/2019

Graphic Scale: 0' 2' 4' 8' 12'

Last Update: **9/17/2019 11:04:59 AM**

P090



1 BASEMENT REMODEL PLAN
1/4" = 1'-0"

Project Title: **SCHOOL DISTRICT OF LA CROSSE
7 RIVERS CHARTER SCHOOL**

Project Location: **228 5TH AVENUE SOUTH
LA CROSSE, WI 54601**

Sheet Title: **BASEMENT REMODEL PLAN**

HSR Project Number: **19003**

Project Date: **AUG 27, 2019**

Drawn By: **RGJ**

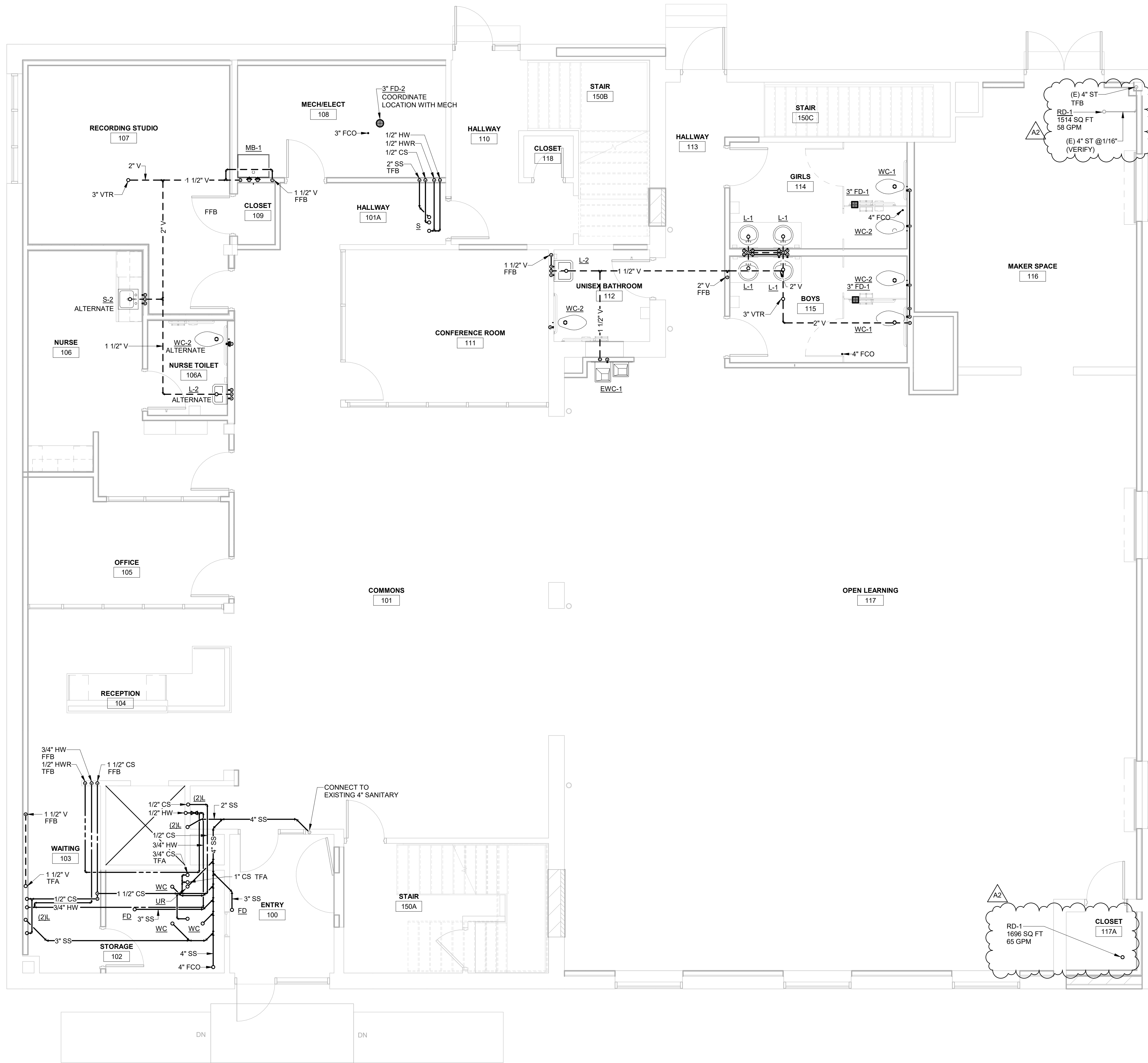
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No.	Description	Date
A2	Addendum #2	9/17/2019

Graphic Scale:
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Last Update: **9/17/2019 11:05:00 AM**

P101



1 FIRST FLOOR REMODEL PLAN
1/4" = 1'-0"

Project Title: **SCHOOL DISTRICT OF LA CROSSE
7 RIVERS CHARTER SCHOOL**
Project Location: 228 5TH AVENUE SOUTH
LA CROSSE, WI 54601
Sheet Title: **FIRST FLOOR REMODEL PLAN**

HSR Project Number: **19003**

Project Date: **AUG 27, 2019**

Drawn By: **RGJ**

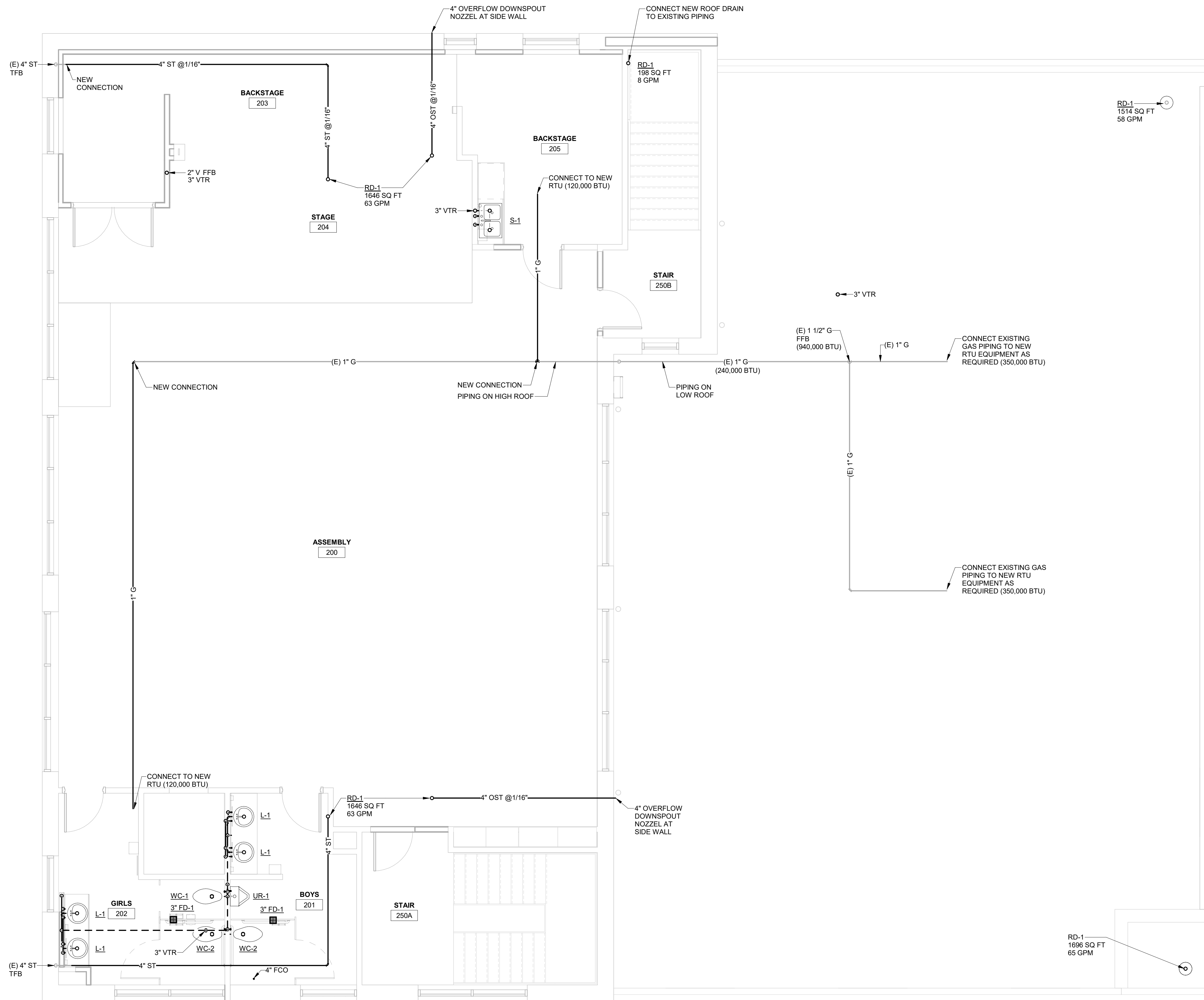
Key Plan:

No.	Description	Date
A2	Addendum #2	9/17/2019

Graphic Scale:
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Last Update: **9/17/2019 11:05:00 AM**

P102



1 SECOND FLOOR REMODEL PLAN
1/4" = 1'-0"

Project Title: **SCHOOL DISTRICT OF LA CROSSE
7 RIVERS CHARTER SCHOOL**

Project Location: **228 6TH AVENUE SOUTH
LA CROSSE, WI 54601**

Sheet Title: **SECOND FLOOR REMODEL PLAN**

HSR Project Number: **19003**

Project Date: **AUG 27, 2019**

Drawn By: **RGJ**

Key Plan:

No.	Description	Date
A2	Addendum #2	9/17/2019

Graphic Scale: 0' 1" 2' 4' 6'

Last Update: **9/17/2019 11:05:01 AM**

P103



No.	Description	Date
A2	Addendum #2	9/17/2019

