DOCUMENT 00 90 00 ADDENDUM

ADDENDUM NO. [2] Date: September 17, 2019

RE: SCHOOL DISTRICT OF LA CROSSE

7 RIVERS CHARTER SCHOOL

225 5TH AVE SOUTH LA CROSSE, WI 54601

HSR 19003

FROM: HSR Associates, Inc.

100 Milwaukee Street La Crosse, WI 54603 (608) 784-1830

To: Prospective Bidders

This addendum forms a part of the Contract Documents and modifies the original Bidding Documents dated August 2019. Acknowledge receipt of this Addendum in the space provided on the bid form. Failure to do so may subject the Bidder to disqualification.

This Addendum consists of [3] pages, [1] Bid Form Revision 2 and [14] 30 x 42 drawings.

CHANGES TO PREVIOUS ADDENDUM: Addendum 1

- 1. Item 2: Delete Bid Form (Revision). Bid Form (Revision 2) attached hereto.
- 2. Item 5: Delete this item. Fire shutters and water curtain not required.
- 3. Item 11, Section 09 21 16: Delete Paragraphs 8 and 12 in reference to glass mat products. Paper faced products shall be allowed as follows:

CertainTeed Corporation; Extreme Impact Resistant Drywall with M2Tech. Continental Building Products; Protecta HIR 300 Type X with Mold Defense. National Gypsum Company; Gold Bond HI-Impact XP Gypsum Board.

- 4. Item 21: Where south wall is now furred out, HVAC baseboard shall move out with new wall location.
- 5. Item 35: Delete reference to M104.
- Sheet M105: Drawing has no changes. It was inadvertently included.

GENERAL REQUIREMENTS:

- 7. Section 01 23 00 ALTERNATES
 - a. Alternate 1: Delete "aluminum framed glass wall". Refer to drawings for materials.
 - b. Alternate 3 revision; Alternate 3 description shall be as follows:

Alternate No. 3: North Exterior WIndows

1. The following work shall be priced under Alternate No. 3: State the amount to be added to the base bid to install the (3) exterior aluminum windows at north wall of room 117

CHANGES TO SPECIFICATIONS:

- 8. Section 08 33 23 OVERHEAD COILING DOORS
 - Delete section from Contract Documents. Coiling doors removed from project.
- 9. Section 08 80 00 GLAZING
 - a. Add GLT-16 as follows:
 - GLT-16 Insulating Glass Units: Spandrel glazing.
 - 1. Applications: Exterior spandrel glazing unless otherwise indicated.
 - 2. Space between lites filled with argon.
 - 3. Outboard Lite: Annealed float glass, 1/4 inch thick, minimum.
 - a. Tint: Clear.
 - b. Coating: Same as on vision units, on #2 surface.
 - 4. Inboard Lite: Heat-strengthened float glass, 1/4 inch thick.
 - a. Tint: Clear.
 - b. Opacifier: Ceramic frit, on #4 surface.
 - c. Opacifier Color: As selected by A/E.
 - 5. Total Thickness: 1 inch.
 - 6. Thermal Transmittance (U-Value), Summer Center of Glass: 0.24, nominal.
 - 7. Glazing Method: Dry glazing method, gasket glazing

CHANGES TO DRAWINGS

- 10. Sheet A090 DEMOLITION PLANS 30 x 42 attached hereto
 - a. Revisions clouded on Drawing.
 - b. All existing windows shall be replaced.

11. Sheet A101 FIRST FLOOR REMODEL PLAN 30 x 42 attached hereto

- a. Revisions clouded on Drawing.
- b. New windows shown.
- c. Revised keynotes 9.
- d. Delete Note 43. Fire shutters have been removed from project.
- e. Closet 109- removed references to keynote 10.

12. Sheet A102 SECOND FLOOR REMODEL PLAN 30 x 42 attached hereto

- a. Revisions clouded on Drawing.
- b. New windows shown.

13. Sheet A111 FIRST FLOOR REFLECTED CEILING PLAN 30 x 42 attached hereto

- a. Revisions clouded on Drawing.
- b. Fire shutters deleted from project at north wall.

14. Sheet A200 EXTERIOR ELEVATIONS AND BUILDING SECTIONS 30 x 42 attached hereto

- a. Revisions clouded on Drawing.
- b. New windows shown.

15. Sheet A201 INTERIOR ELEVATIONS 30 x 42 attached hereto

- a. Revisions clouded on Drawing.
- b. Added window elevations C through F.

16. Sheet A600 WALL TYPES AND DOOR SCHEDULE 30 x 42 attached hereto

- a. Revisions clouded on Drawing.
- b. Clarified location of top of wall detail.
- c. Door Schedule: Delete fire shutters 116B, 116D, and 116F.

17. Sheet FP100 FIRE PROTECTION 30 x 42 attached hereto

- a. Revisions clouded on Drawing.
- 18. Sheet P000 NOTES, SCHEDULES AND DETAILS 30 x 42 attached hereto
 - a. Revisions clouded on Drawing.
- 19. Sheet P090 DEMOLITION PLANS 30 x 42 attached hereto
 - a. Revisions clouded on Drawing.
- 20. Sheet P101 BASEMENT REMODEL PLAN 30 x 42 attached hereto
 - a. Revisions clouded on Drawing.
- 21. Sheet P102 FIRST FLOOR REMODEL PLAN 30 x 42 attached hereto
 - a. Revisions clouded on Drawing.
- 22. Sheet P103 SECOND FLOOR REMODEL PLAN 30 x 42 attached hereto
 - a. Revisions clouded on Drawing.
 - b. Gas piping, new roof drain and storm piping revisions.
- 23. Sheet P200 ISOMETRIC DIAGRAMS 30 x 42 attached hereto
 - a. Revisions clouded on Drawing.
- 24. Sheet E201 FIRST FLOOR POWER PLAN
 - a. 1E201: Mech/Elec. 108: Provide weatherproof fire alarm strobe at exterior near sprinkler system piping.
 - b. Delete power connections and circuits to removed fire shutters at north wall.
- 25. Sheet E600 LIGHTING AND RELAY SCHEDULES
 - a. Light Fixture Schedule: Type S4 fixture shall be same as S4E, except not on emergency circuit.

PRIOR APPROVALS

- 1. Section 27 53 13 WIRELESS CLOCK SYSTEM
 - a. American Time/SiteSync IQ System Controller

END OF DOCUMENT 00 90 00

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DOCUMENT 00 41 00

BID FORM (Revision 2)

BIDDER:	
BID FOR SING	GLE PRIME CONTRACT
PROJECT:	SCHOOL DISTRICT OF LA CROSSE 7 RIVERS CHARTER SCHOOL 225 5 TH AVE SOUTH LA CROSSE, WI 54601 HSR 19003
TO:	SCHOOL DISTRICT OF LA CROSSE 807 EAST AVENUE SOUTH LA CROSSE, WISCONSIN 54601
BASE BID	
familiar with lo Manual, the Pi AE, HSR Asso necessary for	ned, having examined the site where the Work is to be executed and become local conditions affecting the cost of the Work and carefully examined the Project roject Drawings, all other Bidding Documents and Addenda thereto prepared by the ociates, Inc., hereby agrees to provide all labor, materials, equipment and services the complete and satisfactory execution of the ENTIRE WORK, in the time frame less contract documents, for the Base Bid stipulated sum of:
	Dollars (\$00)
The Base Bid	stipulated sum, stated above, shall include stated allowance in Section 01 21 00.
ALTERNATE	BIDS
the Project Ma	ed further agrees to perform the alternative portions of the Work as described in nual, Section 01 23 00 Alternates, for the following additions to or deductions from um stipulated above:
Alternate No. 1	Conference Room 111
Add	Dollars (\$00)
Alternate No. 2	2 Office 105, Nurse 106 and Nurse Toilet 106A
Add	Dollars (\$00)

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Alternate No. 3 No.	Exterior Windows
Add	Dollars (\$00)
UNIT PRICES	
9	ees to add or deduct portions of the Work from the Contract as described in ection 01 22 00 Unit Prices, for the following Unit Price amounts:
A. Unit Price UP-1	(Patching Existing Plaster Walls)
Per Square Foot _	Dollars (\$0)
BIDDER'S CHOIC	SUBSTITUTIONS
	r's Choice Substitution is proposed for your consideration subject to the orth in Document 00 22 13 Supplementary Instructions to Bidders,
Substitution No. S1	
For substituting	
Type, Brand, Catal	No
Manufacturer	
Deduct from BASE	ID Dollars (\$00)
In submitting this B	the undersigned agrees to:
1. Hold this Bid on	n for 60 days.

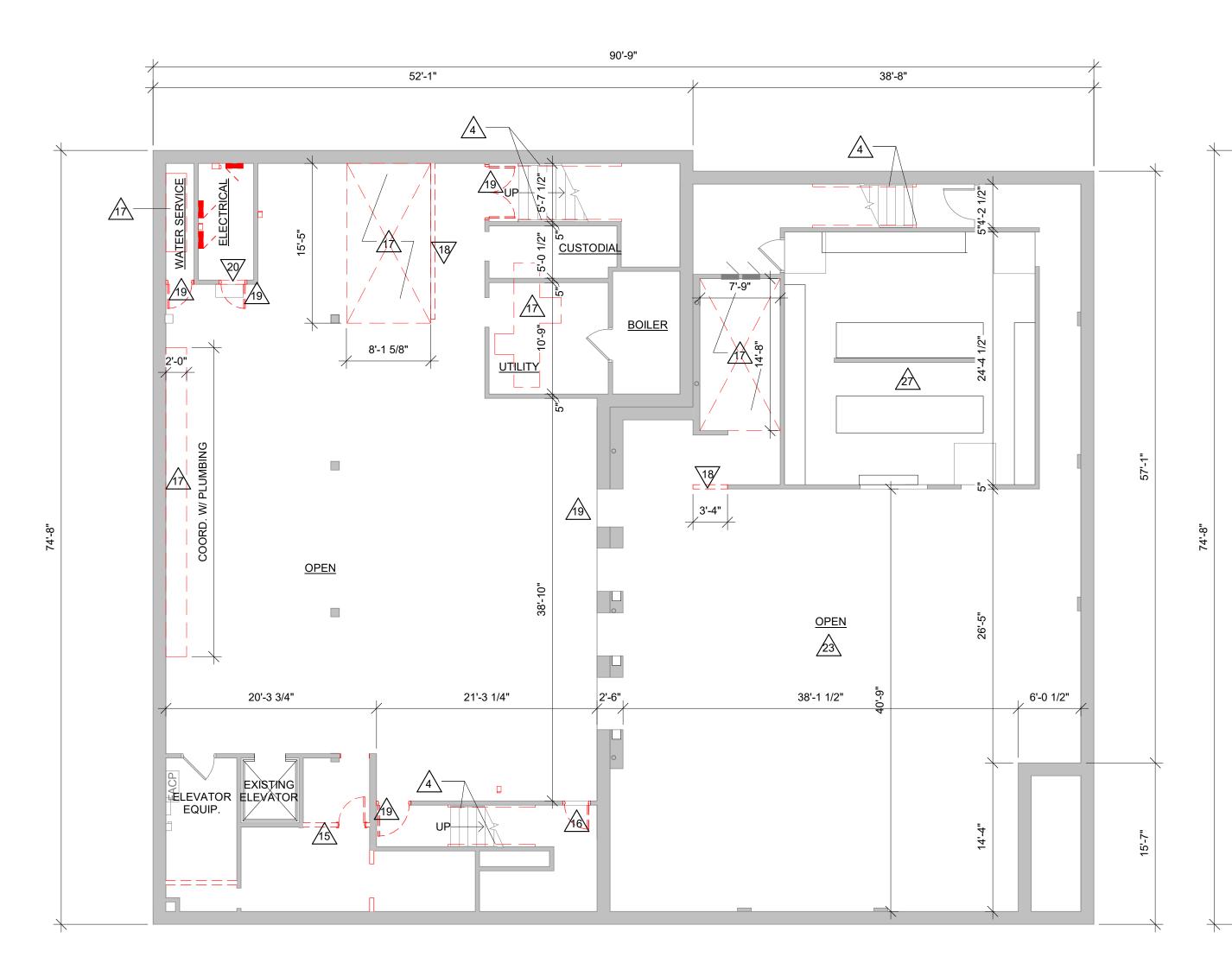
- 2. Accept the provisions of Instructions to Bidders regarding disposition of Bid Security.
- 3. Enter into and execute an Agreement, if awarded on the basis of this Bid, and to furnish Performance and Labor and Material Payment Bonds according to the Supplementary Conditions.
- 4. Accomplish work according to the Contract Documents.
- 5. Complete the work by the time stated in Section 01 10 00 Summary of the Work.

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Receipt of the	ne following Addenda and inclusion of their provisions in this Bid is herebyd:
Addend	lum No Dated
Attached here	eto are the required:
a.	() Bid Security
b.	() 00 45 13 Certificate of Organization and Authority
C.	An executed Document 00 45 15 Disclosure of Ownership is:
	() Attached hereto() Not applicable to the undersigned Bidder
	FIRM NAME:
(Affix seal if	Ву:
Corporation) Title:
	By:
	Title:
	Date:
	Official Address:
	Telephone:

END OF DOCUMENT 00 41 00

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90'-9" 52'-1" 38'-8" CUT FLOOR TO FIT NEW DUCT - COORD W/ MEGH. <u>OPEN</u> <u>OPEN</u> - EXISTING COLUMN

FIRST FLOOR DEMOLITION PLAN



REMOVE EXISTING FINISH FLOOR, BASE, AND ADHESIVE. PREPARE FLOOR AS REQUIRED FOR NEW FLOORING. SEE ID SHEETS. REMOVE TACKBOARD AND DAMAGED CHAIR RAIL. REPLACE WITH SALVAGED TRIM BOARDS. PREPARE SURFACE ABOVE AS REQUIRED CAREFULLY REMOVE TRIM AND SALVAGE FOR REUSE WHERE NOTED.
26 EXISTING REFUSE CHUTE TO REMAIN THROUGHOUT CONSTRUCTION.
REPLACE WITH NEW WINDOW AFTER CONSTRUCTION IS COMPLETE.
27 REMOVE SUSPENDED CEILING SYSTEM.
28 REMOVE ABANDONED HOOD FAN AND LOUVER.

REMOVAL GENERAL NOTES:

AN ACCEPTABLE SURFACE FOR NEW FINISH INSTALLATION.

SEE MECHANICAL, PLUMBING AND ELECTRICAL SHEETS FOR

BIDDERS SHALL MAKE EVERY EFFORT TO VERIFY EXISTING CONDITIONS PRIOR TO BIDDING. INSPECTION HOLES, ETC. CAN BE

EXISTING INTERIOR WALLS ARE GYP BD OR PLASTER/ MESH

SYMBOL INDICATES CONSTRUCTION NOTE THIS SHEET

SYMBOL INDICATES REMOVAL OF DOOR AND FRAME

REMOVE EXISTING EXTERIOR DOORS, FRAME AND GLAZING AS REQUIRED. PREPARE REMIANING OPENING FOR INSTALLATION OF NEW

REMOVE GLASS BLOCK FROM OPENING. PREPARE FOR INSTALLATION

REMOVE EXISTING CMU/ BRICK AS REQUIRED FOR INSTALLATION OF NEW ALUM WINDOW. OPENING SIZE TO BE 5'-4"W x 6'-8"H. BOTTOM OF

REMOVE EXISTING WALL MOUNTED HANDRAILS. SEE PHOTO 6A090.

REMOVE EXISTING CMU AND BRICK AS REQUIRED FOR NEW DOOR

REMOVE EXISTING SIDEWALK AND EXCAVATE AS REQUIRED FOR NEW

REMOVE EXISTING METAL CANOPY AND SUPPORTS. PATCH CONCRETE

REMOVE EXISTING ROOF DRAIN. SEE PLUMBING FOR REQUIRED WORK. CAREFULLY REMOVE EXISTING CASING FROM PERIMETER OF EXISITNG

REMOVE EXISTING DOOR, FRAME, AND WALL AS REQUIRED FOR NEW

REMOVE CONCRETE SLAB FOR NEW UNDERGROUND PLUMBING WORK.

REMOVE EXISTING DOOR AND FRAME. PREPARE OPENING AS REQUIRED FOR NEW INFILL TO MATCH WALL.

REMOVE PLASTER CEILING AND WOOD JOISTS ABOVE.
REMOVE EXISTING PLUMBING FIXTURES, PARTITIONS, AND

COORDINATE EQUIPMENT AND CURB REMOVAL WITH MECHANICAL. REMOVE EXISTING BUILT UP ROOF SYSTEM DOWN TO WOODEN ROOF

REMOVE EXISTING EXTERIOR STOOP AS REQUIRED FOR INSTALLATION

KEY NOTES REMOVAL

REMOVAL PLAN LEGEND:

REMOVE ITEMS NOTED WITH DASHED LINES

UNLESS NOTED OTHERWISE

OF NEW ALUM WINDOW. SEE PHOTO 5A090.

OF NEW CONCRETE STOOP/ RAMP.

RAMP STOOP AND FOOTINGS.

AND EXTERIOR WALL.

REMOVE EXISTING WINDOW AND FRAME.

OPENING. SALVAGE FOR REUSE WHERE NOTED.

REMOVE EXISTING WALL FLOOR TO DECK. REMOVE EXISTING DOOR AND FRAME.

20 REMOVE CONCRETE CURB TO FINISH FLOOR LEVEL.

ADDITIONAL REMOVAL NOTES AND ITEMS.

COORDINATED WITH THE OWNER.

PATHS THROUGH BUILDING.

UNLESS NOTED OTHERWISE.

TO MATCH EXISTING ADJACENT CONDITIONS.

A PREPARATION FOR NEW FINISHES SHALL INCLUDE BUT NOT LIMITED

TO REMOVAL OF EXISTING FINISHES, REMOVAL OF TAPES, GLUES (MASTIC), NAILS, ETC. PATCHING OF HOLES AND CRACKS TO PROVIDE

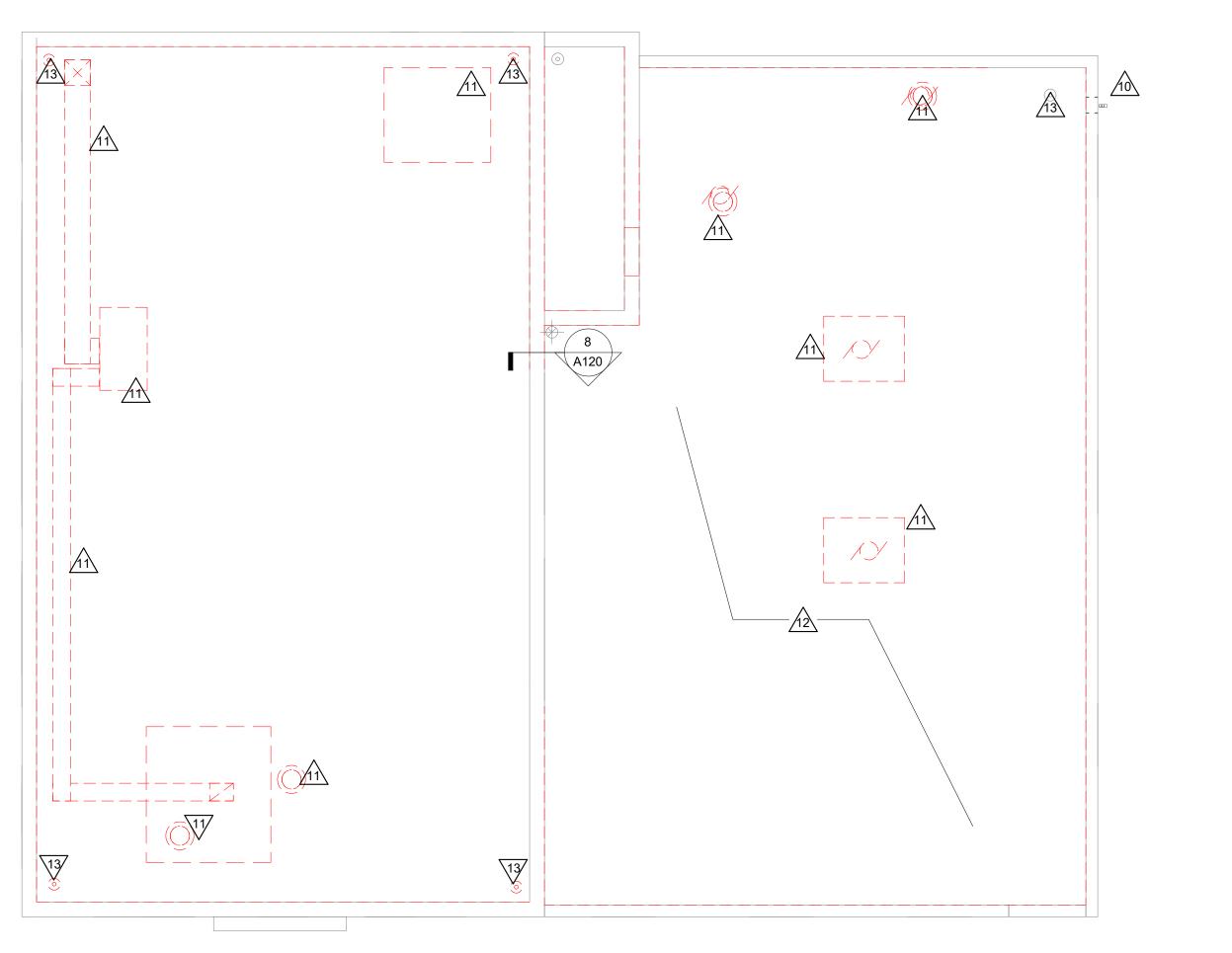
CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING, BRACING, ETC. AS REQUIRED FOR THE WORK.

COORDINATE REMOVAL AND PATCHING WITH MEP DRAWINGS. PATCH

PROVIDE FLOOR PROTECTION AS SPECIFIED AT DEBRIS REMOVAL

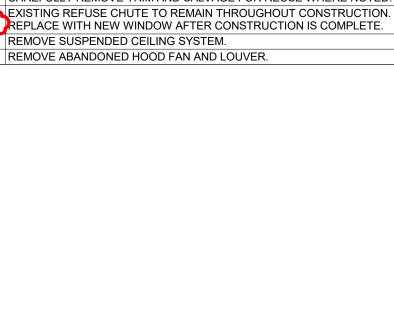
BASEMENT DEMOLITION PLAN

SECOND FLOOR DEMOLITION PLAN



ROOF DEMOLITION PLAN





REMOVE EXISTING GLASS BLOCK FROM **EXISTING WINDOW** OPENING

WINDOW INFILL



STAIR RAILING

ARCHITECTURE ENGINEERING INTERIOR DESIGN

HSR ASSOCIATES INC. 100 MILWAUKEE STREET LA CROSSE, WISCONSIN PHONE: 608.784.1830 FAX: 608.782.5844

> www.hsrassociates.com Consultant:

HSR Project Number:

AUG 27, 2019

Key Plan:

A02 Addendum #2 Graphic Scale: **VARIES**

Last Update: 9/16/2019 2:30:17 PM



GENERAL NOTES:

COORDINATE CEILINGS WITH NEW LIGHT FIXTURES. PATCH ANY ABANDONED HOLES, ETC, FOR CLEAN FINISH EXISTING WOOD DOORS, TRIM, & FIXTURES: TAKE CARE TO REMOVE, CUT, AND REINSTALL EXISTING WOOD TRIM. INSTALL NEW WOOD TRIM

PATCH & PAINT OLD DAMAGE TO WALLS, FLOOR, AND CEILING TO MATCH TEXTURE, COLOR, AND APPEARANCE OF EXISTING ADJACENT FINISH. ALL DOORS IN NEW WALLS TO BE 4" FROM CORNER, UNLESS NOTED

E REFINISHING OF WOOD FLOORS AND REPURPOSING OF EXISTING TERRAZZO SEE ID SHEETS FOR SCOPE

F SEE CODE PLAN FOR WALL RATINGS AND FIRE EXTINGUISHER LOCATIONS.

LEGEND:

SYMBOL INDICATES WALL TYPE - SEE WALL TYPE DETAILS. SYMBOL INDICATES WINDOW TYPE. SEE SHEET A201 FOR WINDOW FRAME ELEVATIONS.

SYMBOL INDICATES CONSTRUCTION NOTE THIS SHEET

- - INDICATES WALLS WITH HIGH IMPACT GYP BD TO 4'-0"

1 HOUR WALL

LINTEL SIZE- SEE 2A101

KEY NOTES PLAN EXISTING CONCRETE STEPS TO REMAIN. NEW CONCRETE STOOP AND RAMPS. SEE SHEET A501. REPLACE EXISTING HANDRAILS WITH 1 1/2" STEEL WITH 12" EXTENSIONS @ TOP AND BOTTOM. SEE SHEET A501. NEW STAGE 8" A.F.F. SEE SHEET A500 FOR DETAIL 1 1/2" STEEL GUARDRAIL CONNECTED TO EXISTING BALLUSTERS. 42" TO TOP OF RAIL FROM TOP OF STAIR NOSING. 12" EXTENSIONS @ TOP AND BOTTOM. BAULSTERS & BRACKETS AS REQUIRED TO SUPPORT HANDRAIL. SEE SHEET A501. INFILL AT EXISTING EXTERIOR SLOPED SLAB WITH CONCRETE. MATCH FINISH FLOOR LEVEL. PLAM RECEPTION DESK WITH KNEE SPACE BELOW. SEE SHEET A210. OPENING.

NATICE EXISTING OPENING TO MATCH EXISTING WALL THICKNESS MASONRY CORE WITH STUCCO FINISH TO MATCH EXISTING TOOTH IN BRICK TO FINISH AND REPAIR WALL ENDS. MATCH BRICK TEXTURE AND COLOR AND MORTAR TO EXISTING. INFILL 8" WOOD BASE W/ QUARTER ROUND. OVERLAP ANGLE CUT END OF NEW BASE WITH EXISTING. MATCH WOOD SPECIES AND FINISH OF ADJACENT BASE. STAINLESS STEEL 18 GA FLOOR TO ROOF DECK METAL HEAT SHIELD. ATTACH FLANGES W/ SS SCREWS TO EXISTING MASONRY. HOLD 2" OFF OF FACE OF BOILER VENT. INFILL MASONRY TO MATCH EXISTING EXTERIOR WALL CONSTRUCTION
- MATCH BRICK AND MORTAR TEXTURE AND COLOR AT OPEN SIDE, PLASTER TO MATCH ADJACENT SURFACES AT STAIR SIDE. DOOR ACTUATOR AND CARD READER ON BOLLARD- SEE ELECTRICAL. NEW CASING AT EXISTING OPENING. MATCH ADJACENT WOODWORK. INFILL EXISTING DUCT OPENINGS IN FLOOR AND EXTERIOR WALL. DOOR ACTIVATION - SEE ELECTRICAL GENERAL LOCATIONS FOR HOLES FROM ABANDONED PIPING. PLAN TO PATCH 12 3" HOLES IN TERRAZO.

> ROCK, TAPE, MUD, AND PAINT EXISTING FRAMING AND WALL SURFACES AS REQUIRED FOR COMPLETE AND FINISHED APPEARANCE NEW SOLID SURFACE SILL - SEE DETAIL 2A500. NEW RADIATOR- SEE MECHANICAL. HIGH - LOW DRINKING FOUNTAIN - SEE PLUMBING EXISTING STEEL COLUMN TO REMAIN. INSTALL SALVAGED CHAIR RAIL AT INFILLED WALL LOCATION. INFILL EXISTING POCKET WITH METAL STUDS AND GYP. BD. NEW FLOOR MOP BASIN - SEE PLUMBING MOP AND BROOM HOLDER - SEE A400 CLEAN EXISTING METAL PLATE

TILE - SEE ID SHEETS FOR NEW TILE FLOOR SELECTION

SAND AND REFINISH WOOD FLOORING- SEE ID SHEETS.

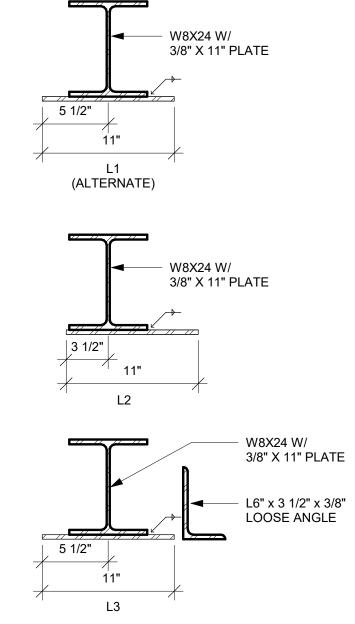
PROTECT DURING CONSTRUCTION

COORD WITH ID REMOVE AND REPLACE OR PREPARE EXISTING FLOOR

CLEAN AND POLISH EXISTING TERRAZZO FLOOR, SEE ID SHEETS -

SEE DEMO SHEETS FOR SCOPE OF NEW 4" CONCRETE FLOOR - RECESS CONCRETE SUCH THAT NEW TILE FLOOR IS FLUSH WITH ADJACENT NEW 5/8" GYP BD ON EXISTING WOOD STUDS SECURE EXISTING POCKET WINDOW W/ 2 LAYERS OF 3/4" PLYWOOD TOP OF WALL AT 42"

LINE OF BULKHEAD ABOVE FRP PANEL ABOVE COUNTER EXISTING CLOSET DOORS TO REMAIN, ADD TRIM TO FRAME INSTALL SALVAGED CHAIR RAIL AT INFILLED WALL LOCATION. MATCH WOOD SPECIES AND STAIN COLOR. INFILL W/ CMU ALLOW FOR GYP VENEER PLASTER @ ROOM SIDE



STRUCTURAL LINTELS

OF WALL

AT ALL LINTEL BEARING -

SOLID GROUT 2 COURSES BELOW BEARING FOR 16" ARCHITECTURE ENGINEERING INTERIOR DESIGN HSR ASSOCIATES INC.

100 MILWAUKEE STREET

LA CROSSE, WISCONSIN PHONE: 608.784.1830

FAX: 608.782.5844

www.hsrassociates.com

Consultant:

CHC S HSR Project Number:

Project Date: **AUG 27, 2019** Drawn By: Key Plan:

A01 Addendum #1 A02 Addendum #2

Graphic Scale: **VARIES**

Last Update: 9/17/2019 2:02:53 PM

GENERAL NOTES:

A COORDINATE CEILINGS WITH NEW LIGHT FIXTURES. PATCH ANY ABANDONED HOLES, ETC, FOR CLEAN FINISH EXISTING WOOD DOORS, TRIM, & FIXTURES: TAKE CARE TO REMOVE, CUT, AND REINSTALL EXISTING WOOD TRIM. INSTALL NEW WOOD TRIM
TO MATCH EXISTING.

PATCH & PAINT OLD DAMAGE TO WALLS, FLOOR, AND CEILING TO MATCH TEXTURE, COLOR, AND APPEARANCE OF EXISTING ADJACENT FINISH.

ALL DOORS IN NEW WALLS TO BE 4" FROM CORNER, UNLESS NOTED

REFINISHING OF WOOD FLOORS AND REPURPOSING OF EXISTING TERRAZZO SEE ID SHEETS FOR SCOPE F | SEE CODE PLAN FOR WALL RATINGS AND FIRE EXTINGUISHER LOCATIONS.

LEGEND:

SYMBOL INDICATES WALL TYPE - SEE WALL TYPE DETAILS. SYMBOL INDICATES WINDOW TYPE. SEE SHEET A201 FOR WINDOW FRAME ELEVATIONS. SYMBOL INDICATES CONSTRUCTION NOTE THIS SHEET

- - INDICATES WALLS WITH HIGH IMPACT GYP BD TO 4'-0"

1 HOUR WALL LINTEL SIZE- SEE 2A101

KEY NOTES PLAN

EXISTING CONCRETE STEPS TO REMAIN. NEW CONCRETE STOOP AND RAMPS. SEE SHEET A501.

REPLACE EXISTING HANDRAILS WITH 1 1/2" STEEL WITH 12" EXTENSIONS @ TOP AND BOTTOM. SEE SHEET A501. NEW STAGE 8" A.F.F. SEE SHEET A500 FOR DETAIL. 1 1/2" STEEL GUARDRAIL CONNECTED TO EXISTING BALLUSTERS. 42" TO TOP OF RAIL FROM TOP OF STAIR NOSING. 12" EXTENSIONS @ TOP AND BOTTOM. BAULSTERS & BRACKETS AS REQUIRED TO SUPPORT

HANDRAIL. SEE SHEET A501. INFILL AT EXISTING EXTERIOR SLOPED SLAB WITH CONCRETE. MATCH FINISH FLOOR LEVEL. PLAM RECEPTION DESK WITH KNEE SPACE BELOW. SEE SHEET A210.

MASONRY CORE WITH STUCCO FINISH TO MATCH EXISTING TOOTH IN BRICK TO FINISH AND REPAIR WALL ENDS. MATCH BRICK TEXTURE AND COLOR AND MORTAR TO EXISTING. INFILL 8" WOOD BASE W/ QUARTER ROUND. OVERLAP ANGLE CUT END

OF NEW BASE WITH EXISTING. MATCH WOOD SPECIES AND FINISH OF STAINLESS STEEL 18 GA FLOOR TO ROOF DECK METAL HEAT SHIELD. ATTACH FLANGES W/ SS SCREWS TO EXISTING MASONRY. HOLD 2" OFF OF FACE OF BOILER VENT. INFILL MASONRY TO MATCH EXISTING EXTERIOR WALL CONSTRUCTION

- MATCH BRICK AND MORTAR TEXTURE AND COLOR AT OPEN SIDE, PLASTER TO MATCH ADJACENT SURFACES AT STAIR SIDE. DOOR ACTUATOR AND CARD READER ON BOLLARD- SEE ELECTRICAL. NEW CASING AT EXISTING OPENING. MATCH ADJACENT WOODWORK.

INFILL EXISTING DUCT OPENINGS IN FLOOR AND EXTERIOR WALL. DOOR ACTIVATION - SEE ELECTRICAL GENERAL LOCATIONS FOR HOLES FROM ABANDONED PIPING. PLAN TO

PATCH 12 3" HOLES IN TERRAZO. COORD WITH ID REMOVE AND REPLACE OR PREPARE EXISTING FLOOR TILE - SEE ID SHEETS FOR NEW TILE FLOOR SELECTION CLEAN AND POLISH EXISTING TERRAZZO FLOOR, SEE ID SHEETS -PROTECT DURING CONSTRUCTION SAND AND REFINISH WOOD FLOORING- SEE ID SHEETS.

ROCK, TAPE, MUD, AND PAINT EXISTING FRAMING AND WALL SURFACES AS REQUIRED FOR COMPLETE AND FINISHED APPEARANCE NEW SOLID SURFACE SILL - SEE DETAIL 2A500. NEW RADIATOR- SEE MECHANICAL. HIGH - LOW DRINKING FOUNTAIN - SEE PLUMBING

EXISTING STEEL COLUMN TO REMAIN. INSTALL SALVAGED CHAIR RAIL AT INFILLED WALL LOCATION. INFILL EXISTING POCKET WITH METAL STUDS AND GYP. BD. NEW FLOOR MOP BASIN - SEE PLUMBING MOP AND BROOM HOLDER - SEE A400

CLEAN EXISTING METAL PLATE SEE DEMO SHEETS FOR SCOPE OF NEW 4" CONCRETE FLOOR - RECESS CONCRETE SUCH THAT NEW TILE FLOOR IS FLUSH WITH ADJACENT NEW 5/8" GYP BD ON EXISTING WOOD STUDS SECURE EXISTING POCKET WINDOW W/ 2 LAYERS OF 3/4" PLYWOOD

TOP OF WALL AT 42" LINE OF BULKHEAD ABOVE

FRP PANEL ABOVE COUNTER

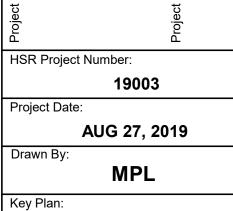
EXISTING CLOSET DOORS TO REMAIN, ADD TRIM TO FRAME INSTALL SALVAGED CHAIR RAIL AT INFILLED WALL LOCATION. MATCH WOOD SPECIES AND STAIN COLOR. INFILL W/ CMU ALLOW FOR GYP VENEER PLASTER @ ROOM SIDE

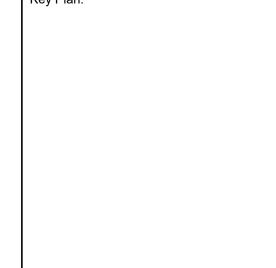
ARCHITECTURE





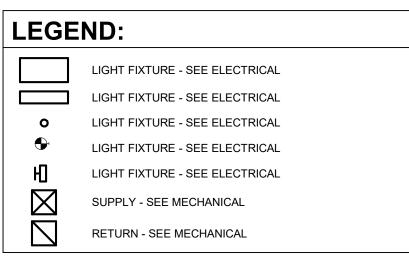


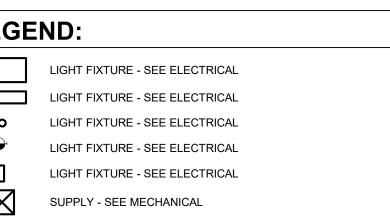




Revi	sions:	
No.	Description	Date
A01	Addendum #1	9-12-2019
A02	Addendum #2	9-18-2019

Last Update: 9/17/2019 2:02:57 PM





ROOF LEADER PIPE

MAKER SPACE 116

GENERAL NOTES:

REFER TO MECHANICAL AND PLUMBING CEILING ACCESS PANEL LOCATIONS & SIZES.

B SEE MECHANICAL FOR CEILING GRILLE INFORMATION

C SEE ELECTRICAL FOR LIGHTING TYPES

D ALL INTERIOR PARTITIONS TO EXTEND TO BOTTOM OF DECK UNLESS OTHERWISE NOTED. CLOSE DECK FLUTES AT TOP OF WALL WITH NEOPRENE FILLER OR FIRESTOPPING SYSTEM. IN GYP/STUD PARTITIONS SEE SPECIFICATION FOR LEVEL OF FINISH ABOVE FINISHED CEILING.

E ALL REMAINING ANNULAR SPACE AROUND ITEMS PENETRATING WALLS SHALL BE NEATLY SEALED. PENETRATIONS OF FIRE RATED WALLS SHALL BE FIRESTOPPED WITH THE SAME AS THE WALL.

WHERE NO CEILING/EXPOSED STRUCTURE UNLESS NOTED OTHERWISE, CONTRACTOR SHALL KEEP ALL MEP ABOVE OR EVEN WITH THE LEVEL OF THE LIGHTS. MEP SHALL RUN IN NEAT ORDERLY APPEARANCE GENERALLY PARALLEL OR PERPENDICULAR TO FINISHED STRUCTURE. WALLS IN THESE ROOMS TO RUN TO DECK AND ALL STRUCTURE / MEP COMPONENTS ARE TO BE PAINTED.

ALL EXTERIOR EXPOSED STEEL LINTELS/HEADERS SHALL BE GALVANIZED, PRIMED AND PAINTED UNLESS NOTED OTHERWISE.

REFER TO INTERIOR DESIGN SHEETS FOR OTHER FINISHES

HANGERS AND SUPPORTS: MECHANICAL, PLUMBING, ELECTRICAL AND OTHER CABLING CONTRACTORS SHALL NOT HANG OR SUPPORT THE WORK FROM THE ROOF DECK IN ANY FASHION. CONDUIT RUNS SHALL NOT BE LAID ON ROOF DECK NOR LAID ON THE STRUCTURAL SUPPORT THAT SUPPORTS THE ROOF DECK. NO FASTENERS SHALL PENETRATE ROOF DECK BY ANY TRADE OTHER THAN THE ROOFING CONTRACTOR FOR THE NEW ROOF SYSTEM.

CONFIRM EXACT LOCATION OF OVERHEAD PROJECTORS AND OTHER CEILING MOUNTED EQUIPMENT WITH OWNER / MANUFACTURER PRIOR TO INSTALLATION.

K CEILING TYPES INSTALLED AS NOTED ON PLANS. SEE SPECIFICATIONS FOR ADDITIONAL SYSTEM INFORMATION. ACT-1= SQUARE EDGE, ACT-2=TEGULAR EDGE, ACT-3=VINYL FACED GYP

KEY NOTES RCP

EXISTING CEILING - ADHERE (6) LOOSE TILES, SEAL WATER STAINS AND

CEILING OPEN TO ROOF DECK ABOVE, CLEAN AND PAINT NEW 2 X 2 ACT - SEE SPEC

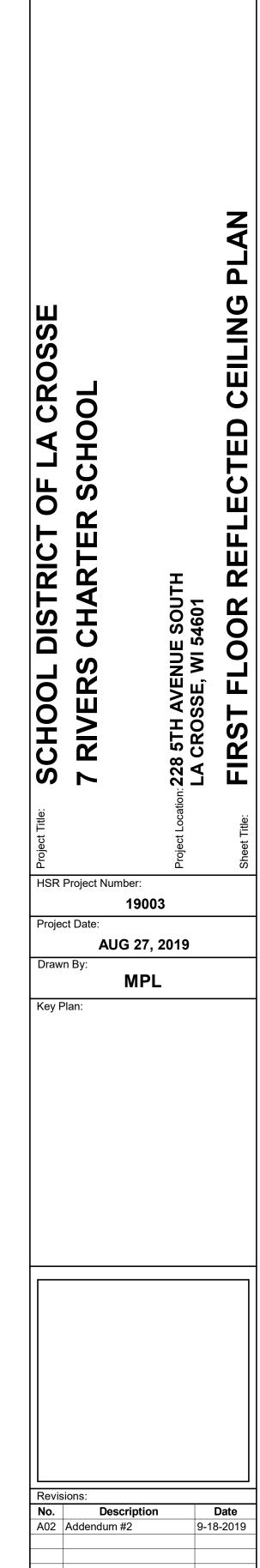
CLEAN AND PAINT EXISTING CEILING. REPAIR ANY DAMAGE. REPAIR DAMAGED CEILINGS AND FIRESTOP.

EXISTING ROOF TO REMAIN. REMOVE / PATCH EXISTING ROOFING AS REQUIRED FOR NEW RTU EQUIPMENT.

GYP SOFFIT ABOVE OPENING AREA OF STAGE LIGHTING - COORD WITH OWNER AND ELECT

INSTALL GYP BD ON EXISTING WOOD FRAMING

CURTAIN TRACK MOUNTED TO CEILIING GRID (ALTERNATE)



ARCHITECTURE

INTERIOR DESIGN

HSR ASSOCIATES INC.

100 MILWAUKEE STREET

LA CROSSE, WISCONSIN

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Consultant:



RECORDING STUDIO

MECH/ELECT

108

CLOSET

HALLWAY

CONFERENCE ROOM

COMMONS 101

150B

UNISEX BATHROOM

ACT-3

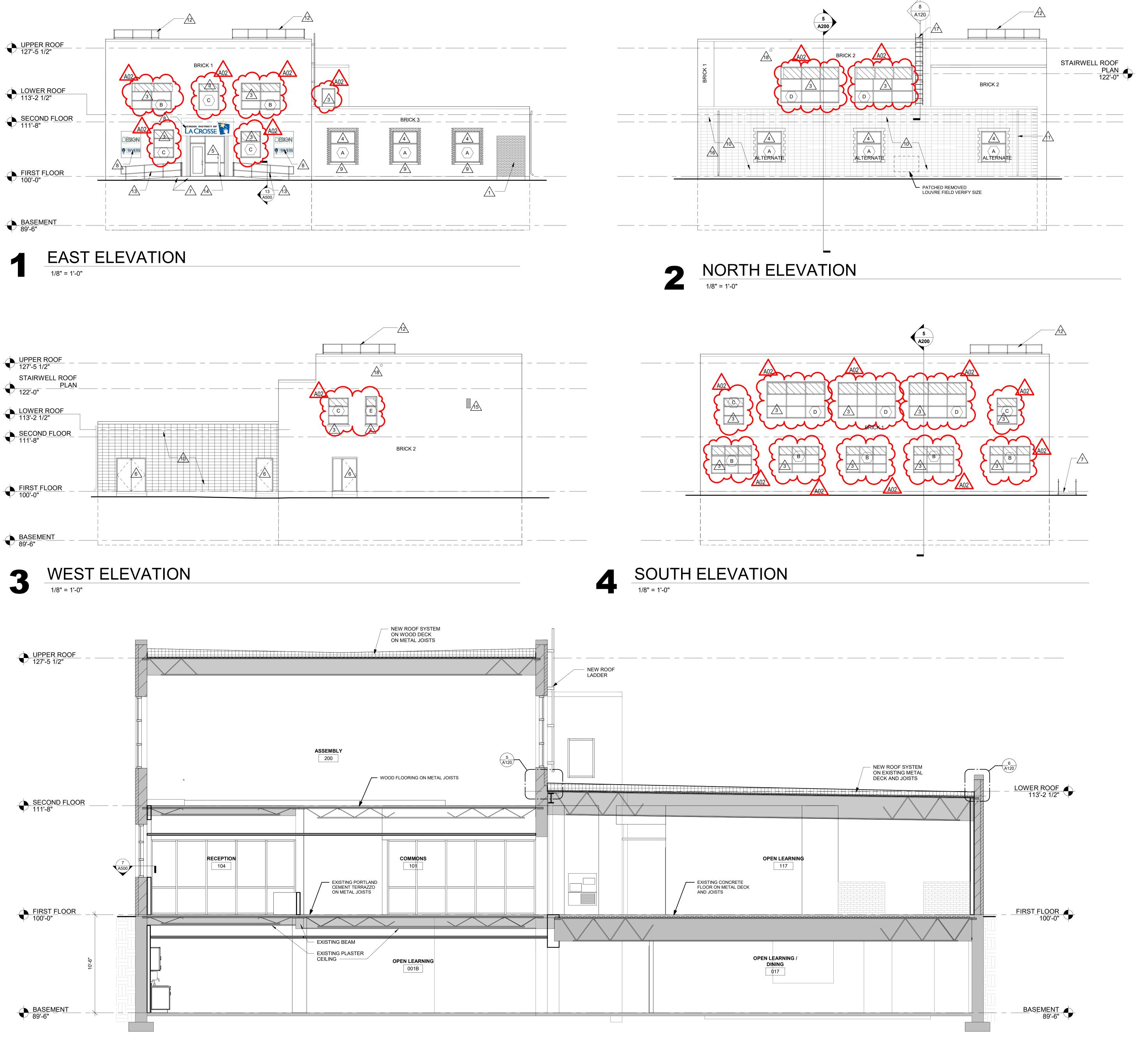
ACT-3 8'-0"

OPEN LEARNING

CLOSET



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GENERAL NOTES:

A BRICK COURSING: RUNNING BOND TO MATCH ADJACENT. SEE SPECIFICATIONS FOR BRICK COLORS.

LEGEND:

KEYNOTE TAG

WINDOW TAG, SEE SHEET A600 FOR FRAME ELEVATIONS

NDOW TAG, SEE SHEET A600 FOR FRAME ELEVATIONS

KEY NOTES ELEVATION

NEW ALUMINUM THERMALLY BROKEN WINDOW IN EXISTING OPENING.

NEW ALUMINUM THERMALLY BROKEN WINDOW IN EXISTING BRICK/ CMU WALL.SAWTOOTH IN BRICK/ CMU TO MATCH EXISTING.

NEW ALUMINUM ENTRY DOOR INSTALLED IN EXISTING OPENING.

NEW INSULATED HM DOOR AND HM FRAME INSTALLED IN EXISTING OPENING. FIELD VERIFY FIT.

NEW CONCRETE 1:20 SLOPE RAMP AND STOOP.

SIGNAGE- BY OWNER (NIC).

- 9 NEW CAST STONE SILL. MATCH PROFILE OF EXISTING.
 10 CLEAN, PRIME AND PAINT EXSITING CMU.
 11 EXISTING SCUPPER WITH NEW OPEN-FACE SHEET METAL DOWNSPOUT.
 12 NEW PROTECTION RAILING. SEE SHEET A120.
 13 NEW PIPE GUARD RAILINLG AT ENTRANCE RAMPS- SEE DETAIL.
 14 DOOR ACTUATOR ON BOLLARD- SEE ELECTRICAL.
- 15 CLEAN AND PAINT EXISTING LOUVER.
 16 NEW SCUPPER AND OPEN-FACE SHEET METAL DOWNSPOUT.
 17 NEW ROOF ACCESS LADDER. SEE 8A120.
 18 OVERFLOW LAMBS TONGUE.

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HSR Project Number:

19003

Project Date:

AUG 27, 2019

MPL
Key Plan:

Revisions:

No. Description Date

A01 Addendum #1 9-12-2019

A02 Addendum #2 9-18-2019

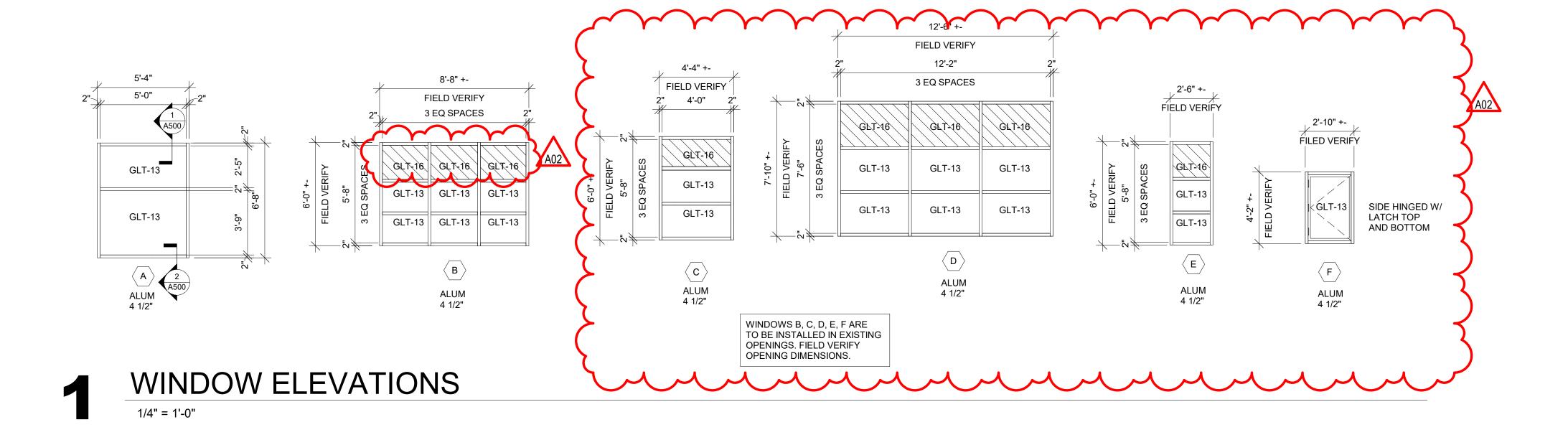
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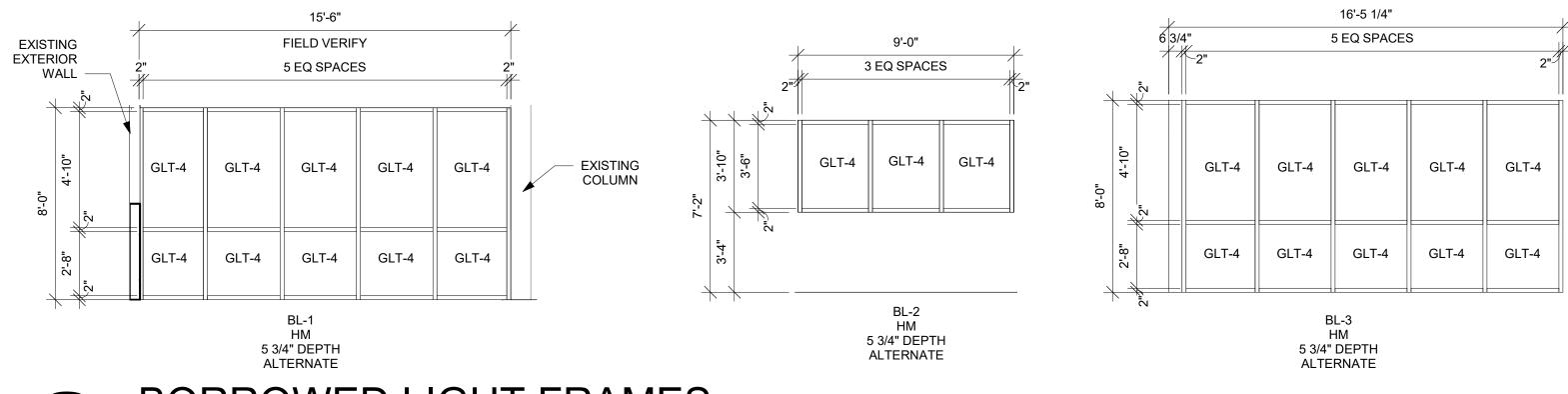
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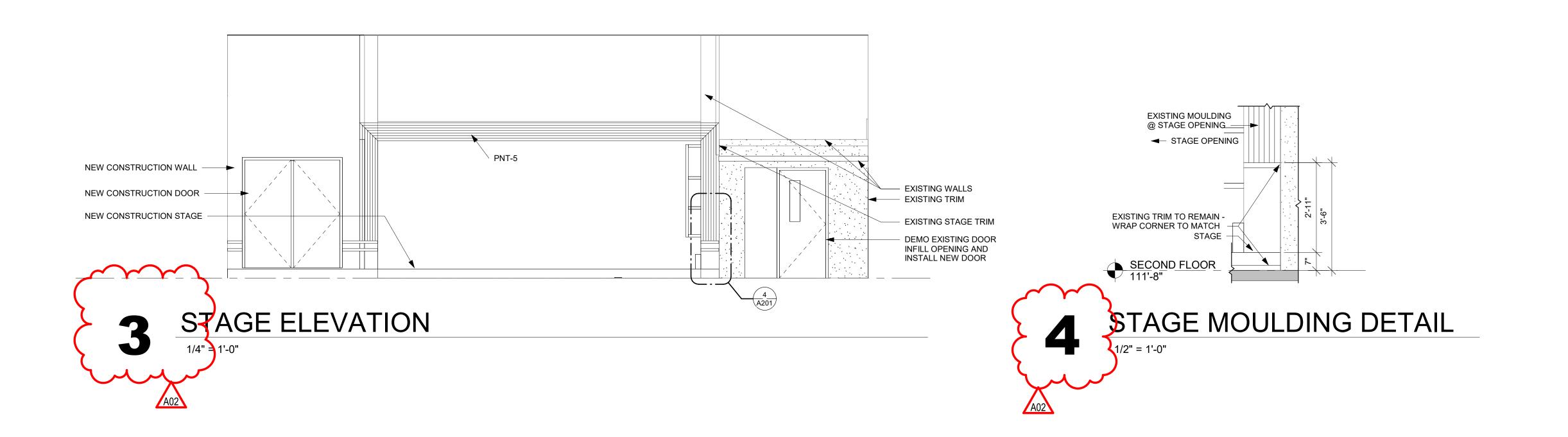
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A200











7 RIVERS CHARTER SCHOOL

HSR Project Number:

Key Plan:

AUG 27, 2019

Revisions:

No. Description Date

A01 Addendum #1 9-12-2019

A01 Addendum #1 9-12-2019
A02 Addendum #2 9-18-2019

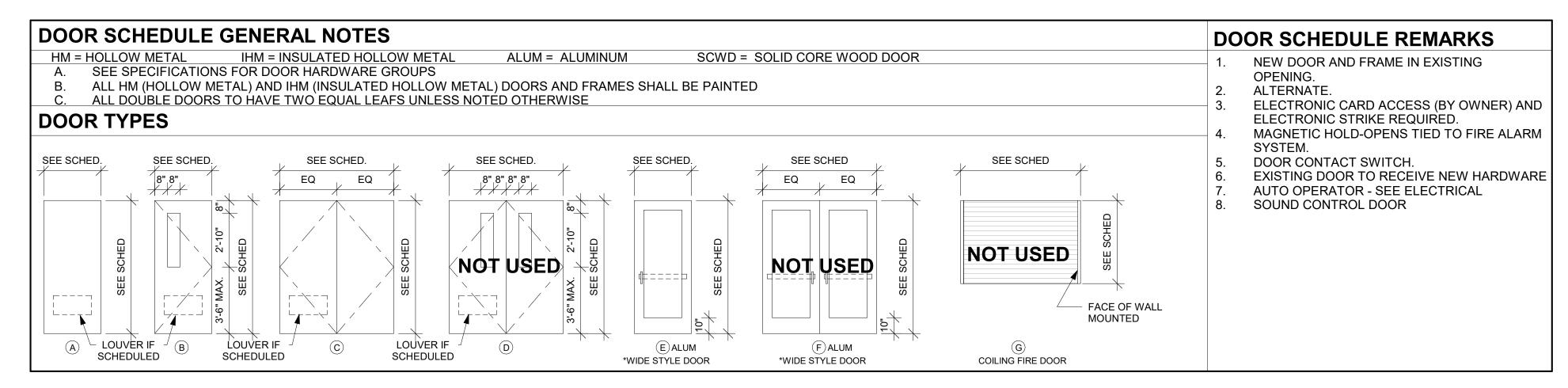
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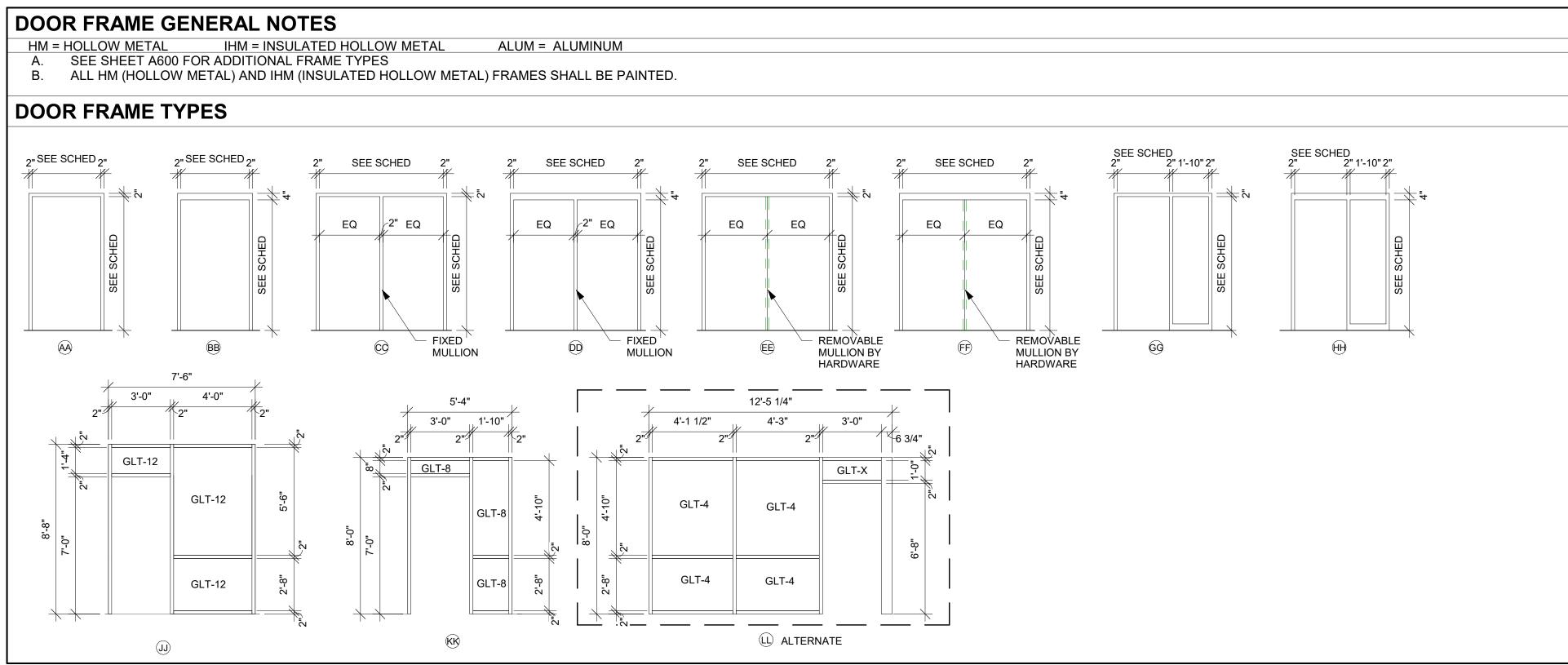
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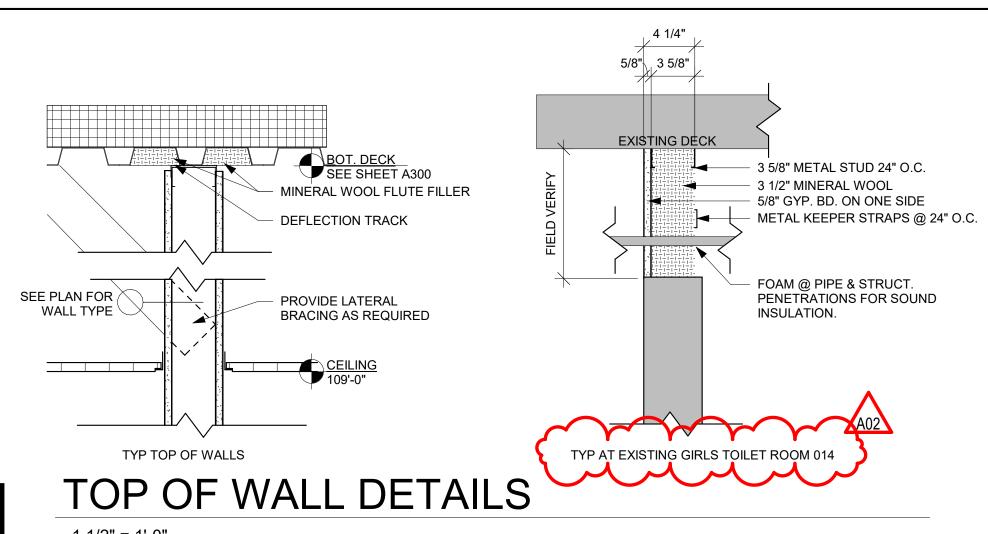
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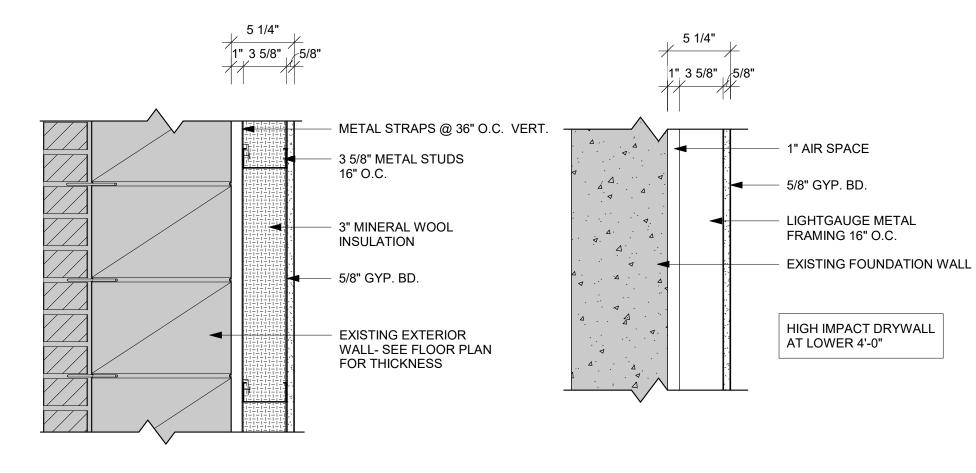
A201

								DOOR SC	HEDULE						
	DOOR							FRAM	1E						
	SIZE					U-CUT			DETAI		DETAILS				
DOOR NO.	W	Н	Т	MAT'L	DOOR TYPE	GLASS TYPE	OR LOUVER MAT'	FRAME L ELEV	DEPTH	HEAD	JAMB	SILL	FIRE LABEL	HDWR GROUP SIGNAGE	REMARKS
2	2' - 6"	7' - 0"	1 3/4"	SCWD	Α		НМ	AA	5 1/2"					2	
3	3' - 0"	7' - 0"	1 3/4"	EXISTG	Α		EXISTG	AA						27	6
5	2' - 4"	6' - 8"	1 3/4"	SCWD	Α		НМ	AA	5 1/2"					4	1,5
3	2' - 4"	6' - 8"	1 3/4"	SCWD	Α		HM	AA	5 1/2"					3	1,5
	3' - 0"	7' - 0"	1 3/4"	SCWD	A		HM	AA	5 7/8"	8A500				5	
	3' - 0"	6' - 8"	1 3/4"	SCWD	Α		HM	AA	5 7/8"	8A500				6	
	2' - 6"	7' - 0"	1 3/4"	SCWD	Α		HM	AA	6 1/4"	9A500				7	1,5
	2' - 6"	7' - 0"	1 3/4"	SCWD	Α		HM	AA	6 1/4"	9A500				8	1,5
	3' - 0"	7' - 0"	1 3/4"	EXISTG	Α		EXISTG	AA						26	3,6
	3' - 0"	7' - 0"	1 3/4"	SCWD	Α		HM	AA	5 7/8"	8A500				6	
	3' - 0"	7' - 0"	1 3/4"	SCWD	В	GLT- 18	HM	AA	9 1/2"	10A500			1 HR	9	4,1
	3' - 0"	7' - 0"	1 3/4"	SCWD	В	GLT- 18	HM	AA	5 7/8"				1 HR	9	4
	3' - 0"	7' - 0"	1 3/4"	SCWD	В		HM	AA	6 1/4"	9A500			1 HR	9	1,4,
	3' - 0"	7' - 0"	1 1/2"	ALUM	E	GLT- 12	ALUM	JJ	4 1/2"					10	3,5,7
	3' - 0"	7' - 0"	1 1/2"	ALUM	E	GLT- 8	ALUM	KK	4 1/2"					11	4,5,7
	3' - 0"	7' - 0"	1 3/4"	SCWD	В	GLT- 18	HM	AA	5 7/8"	8A500			1 HR	12	4
	3' - 0"	7' - 0"	1 3/4"	SCWD	В	GLT- 18	HM	AA	9 1/2"	10A500			1 HR	28	
	3' - 0"	7' - 0"	1 3/4"	SCWD	Α		HM	AA	5 7/8"	8A500				13	
	3' - 0"	7' - 0"	1 3/4"	SCWD	В		HM	AA	5 7/8"	8A500				14	2,3,5
	3' - 0"	7' - 0"	1 3/4"	SCWD	В		HM	AA	5 7/8"	8A500				14	2,3,5
	3' - 0"	7' - 0"	1 3/4"	SCWD	Α		HM	AA	5 7/8"	8A500				15	2
	3' - 0"	7' - 0"	1 3/4"	SCWD	Α		HM	AA	5 7/8"	8A500				16	8
	3' - 0"	7' - 0"	1 3/4"	SCWD	Α		HM	AA	5 7/8"	8A500				17	3,5
	3' - 0"	7' - 0"	1 3/4"	SCWD	Α		HM	AA	8 1/2"	9A500				18	1
	3' - 0"	7' - 0"	1 3/4"	IHM	Α		HM	HH	5 3/4"					19	1,5
	3' - 0"	7' - 0"	1 3/4"	HM	Α		HM	AA	6 1/4"	8A500			1 HR	9	
	3' - 0"	6' - 8"	1 3/4"	SCWD	E	GLT- 8	HM	LL	5 3/4"	8A500				20	2
	3' - 0"	7' - 0"	1 3/4"	SCWD	Α		HM	AA	5 3/4"	11A500	12A500			1	
	3' - 4"	7' - 0"	1 3/4"	IHM	Α		HM	AA	0"					21	1,3,5
	3' - 0"	7' - 0"	1 3/4"	SCWD	A		HM	AA	5 7/8"	8A500				6	
	3' - 0"	7' - 0"	1 3/4"	SCWD	A		HM	AA	5 7/8"	8A500				6	
	6' - 0"	7' - 0"	1 3/4"	IHM	C		HM	AA						22	1,5
	3' - 0"	7' - 0"	1 3/4"	SCWD	A		HM	AA	5 3/4"					23	1
	2' - 4"	7' - 0"	1 3/4"	SCWD	A		HM	AA	6 1/4"	9A500				23	1
	3' - 0"	7' - 0"	1 3/4"	SCWD	A		HM	AA	6 1/4"	9A500				6	
	3' - 0"	7' - 0"	1 3/4"	SCWD	A		HM	AA	6 1/4"	9A500				6	1
	6' - 2"	7' - 0"	1 3/4"	SCWD	С		HM	AA	5 7/8"	8A500				24	
	3' - 0"	7' - 0"	1 3/4"	SCWD	R	01.7.40	HM	AA	5 7/8"	8A500			4	25	
	3' - 0"	7' - 0" 7' - 0"	1 3/4"	SCWD SCWD		GLT- 18 GLT- 18	HM HM	AA AA	5 7/8" 5 7/8"	8A500 8A500			1 HR 1 HR	9	4

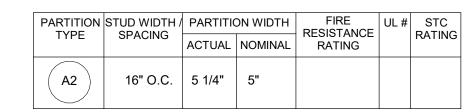


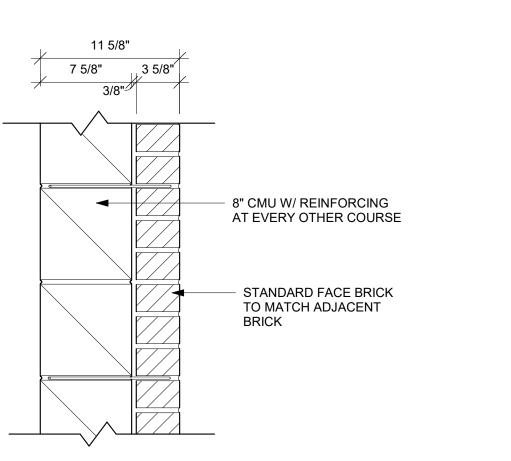


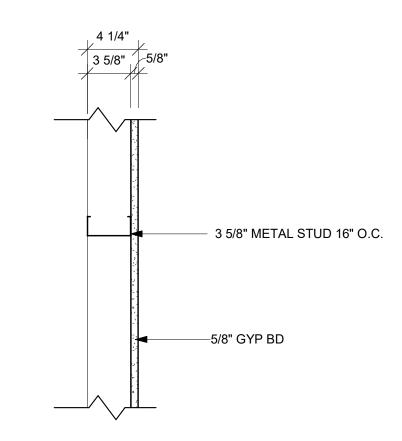


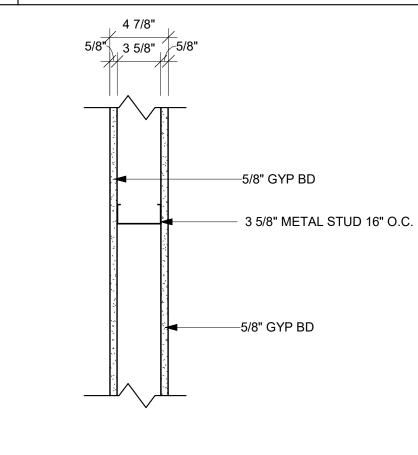


-	STUD WIDTH / SPACING	PARTITIO	N WIDTH	FIRE RESISTANCE RATING	UL#	STC RATING
TYPE		ACTUAL	NOMINAL			
A1	16" O.C.	5 1/4"	5"			









GENERAL WALL TYPE NOTES:

WHERE INTERIOR DESIGN SHEETS INDICATE WALL TILE, INSTALL

BACKER BOARD AT WET AND NON-WET LOCATIONS AS LISTED IN

A REFER TO MASTER COLOR SCHEDULE AND INTERIOR DESIGN

NON RATED WALLS, INCLUDING BULKHEADS SHALL HAVE FRAMING EXTENDED TO DECK ABOVE. GYP BOARD SHALL

EXTEND TO 4" ABOVE CEILING UNLESS NOTED OTHERWISE COLUMN FURRING MAY STOP 4" ABOVE CEILING. FILL 4" SPACE

EXTEND STUDS, GYP BOARD AND SOUND BLANKET TO DECK

ABOVE AT SOUND CONTROL WALLS (INDICATED BY SOUND ATTENUATION BLANKETS, SOUND SEAL NOTE OR STC RATING).

LEVEL OF FINISH ABOVE CEILING AS NOTED IN SECTION 09 21 16

AT SOUND CONTROL WALLS (INDICATED BY SOUND ATTENUATION BLANKETS, SOUND SEAL NOTE OR STC RATING) APPLY CONTINUOUS

PENETRATIONS WITH SOUND BLANKET, BACKING, ACOUSTICAL

ELECTRICAL BOXES AND SIMILAR PENETRATIONS. WHERE WALL

INSTALL GYPSUM BOARD CONTROL JOINTS AT TOP OF ALL

SEALANT AND FIRE STOPPING. AFTER INSTALLING ONE SIDE OF GYP BOARD, APPLY OVERSIZED 2" SOUND BLANKET OVER BACK SIDE OF

USE PUTTY PADS FOR REQUIRED WALL RATING. REFER TO TOP OF WALL DETAILS FOR INSTALLATION OF ADDITIONAL MATERIALS AT DECK AND APPLICATION OF RATED TOP OF WALL ASSEMBLIES.

INTERIOR TOP OF DOOR JAMBS TO TOP OF GYPSUM BOARD WALLS.

WHERE FIRE RATED WALLS ARE INDICATED BY WALL TYPE, USE UL OR EQUIVALENT APPROVED RATING SYSTEM INCLUDING TOP

EXTEND TOPS OF EXISTING WALLS TO UNDERSIDE OF ROOF DECK.

OF WALL AND PENETRATIONS.

OTHER CONTROL JOINTS TO BE INSTALLED PER PLAN OR AT 30'-0" O.C. MAX. REVIEW LOCATION REQUIREMENTS WITH A/E PRIOR TO START OF INSTALLATION OF GYPSUM BOARD ASSEMBLIES.

BEAD OF ACOUSTICAL SEALANT AT FLOOR/CEILING TRACK STUDS AND

STUD AT WALL. APPLY CONTINUOUS BEAD OF ACOUSTICAL SEALANT

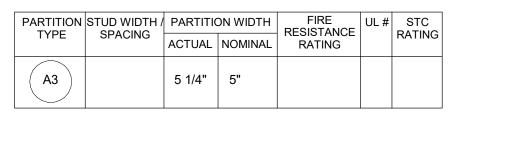
AT PERIMETER OF GYP BOARD HOLDING EDGE OF GYP BOARD AWAY

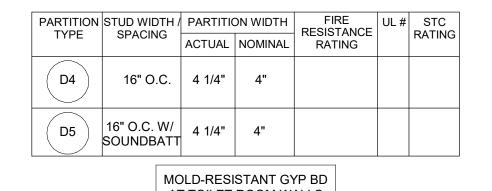
FROM ADJACENT STRUCTURE NO MORE THAN 3/8". SEAL ALL M/E/P/FP

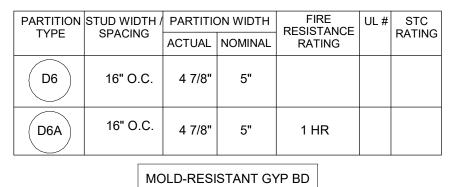
BOXES OCCUR AT OPPOSITE SIDES, APPLY INSULATION TO BACKSIDE OF WALL BOXES. AT FIRE RATED WALLS REQUIRING SOUND CONTROL,

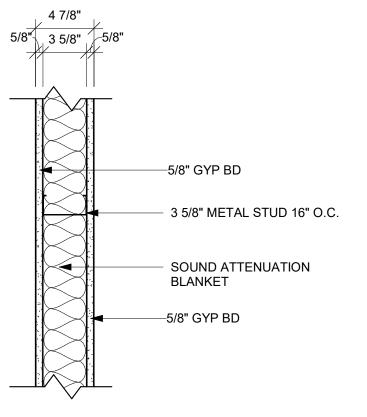
SHEETS FOR ADDITIONAL WALL FINISHES.

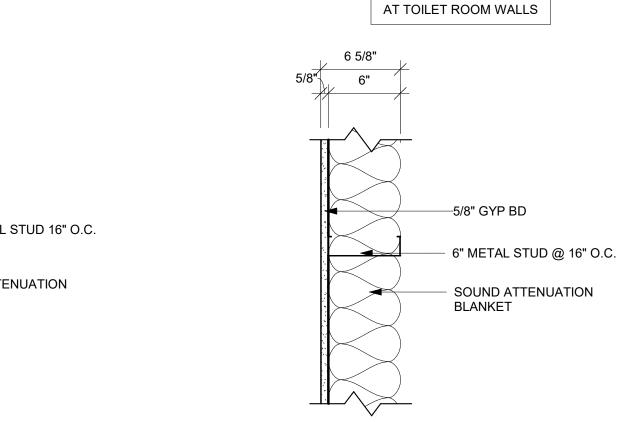
W/ ROCKWOOL





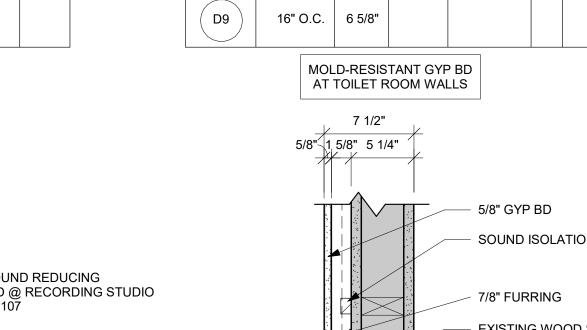






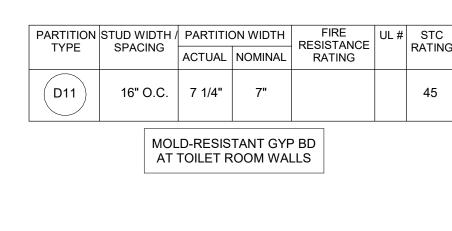
AT TOILET ROOM	
7 1/4"	5/8" 5/8" GYP BD 6" METAL STUD @ 16" O. SOUND ATTENUATION BLANKET 5/8" GYP BD

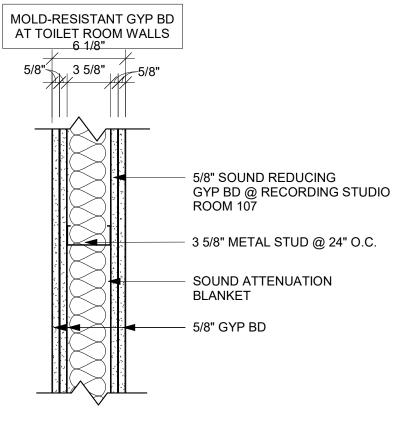
		PARTITION WIDTH		FIRE RESISTANCE	UL#	STC
TYPE	SPACING	ACTUAL	NOMINAL	RATING		RATING
D7	16" O.C.	4 7/8"	5"			

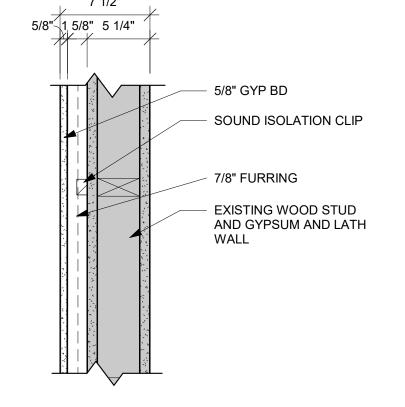


PARTITION STUD WIDTH / PARTITION WIDTH

TYPE SPACING ACTUAL NOMINAL RATING







FIRE UL# STC RATING

9"	—— STONE CAP
	T.O. WALL
	3'-4" — FACE BRICK-
	MATCH EXISTING RED BRICK
	— #4 BAR @ 16" O.C.
	SEE SHEET A501 FOR FLOOR ANCHORING DETAIL
	SEE ELECT. COORD. FOR CONDUIT @ RECESSED OUTLETS

	STUD WIDTH	PARTITIO	ON WIDTH	FIRE RESISTANCE	UL#			
TYPE	SPACING	ACTUAL	NOMINAL	RATING		RATING		
D12	16" O.C.	6 1/8/"	6"			59		
MOLD-RESISTANT GYP BD AT TOILET ROOM WALLS								

	STUD WIDTH /	PARTITION WIDTH		FIRE RESISTANCE	UL#			
TYPE	SPACING	ACTUAL	NOMINAL	RATING		RATING		
D13	16" O.C.	6 1/8/"	6"			59		
MOLD-RESISTANT GYP BD AT TOILET ROOM WALLS								

	STUD WIDTH /	PARTITIO	N WIDTH	FIRE RESISTANCE	UL#	STC RATING
TYPE	SPACING	ACTUAL	NOMINAL	RATING		
C7		7 3/4"	8"			

REFER TO FLOOR PLANS FOR LOCATIONS OF HIGH IMPACT GYP BD Graphic Scale: **VARIES** 9/17/2019 2:03:01 PM

9-12-2019 9-18-2019

ARCHITECTURE

ENGINEERING

INTERIOR DESIGN

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HSR Project Number:

AUG 27, 2019

MPL

Project Date:

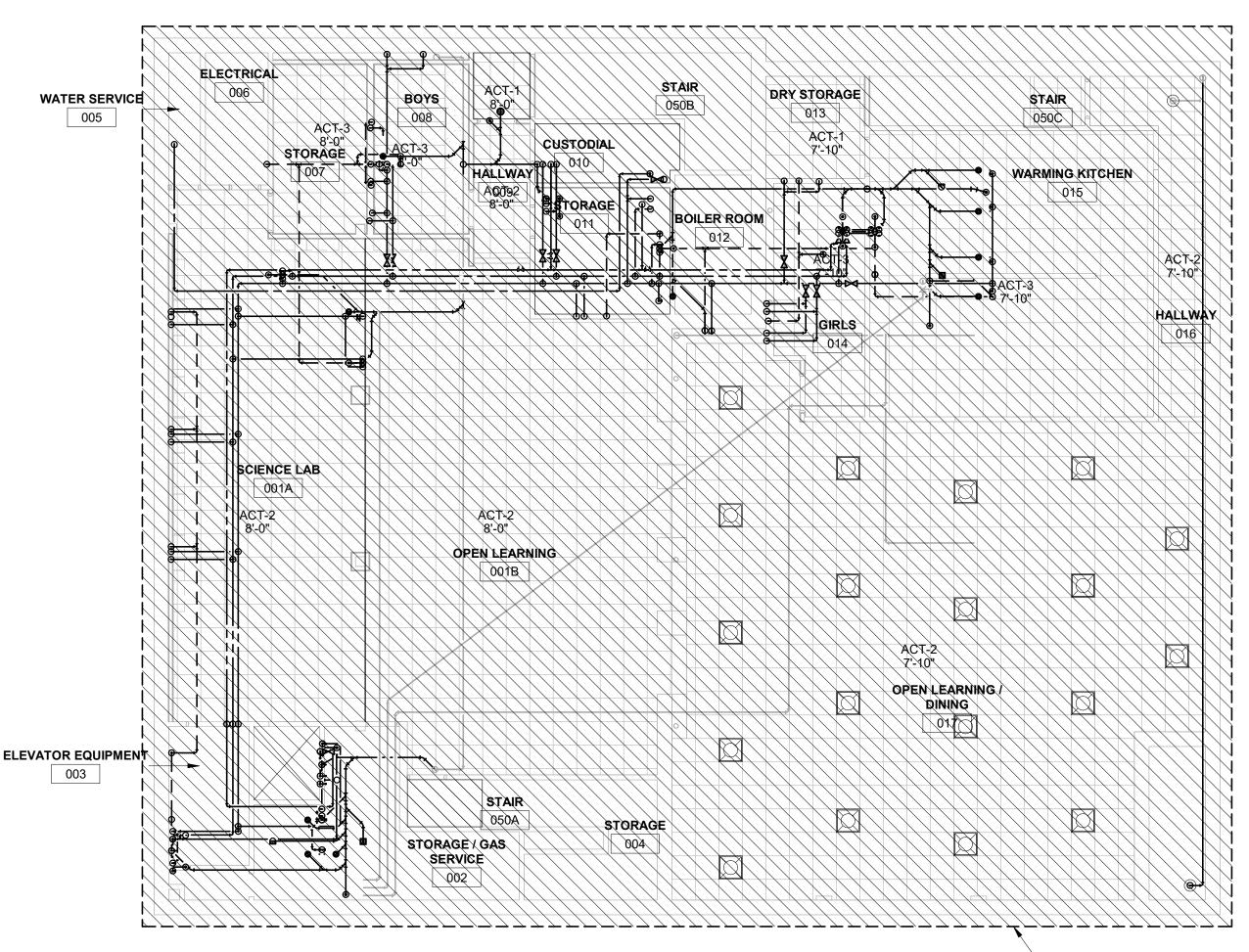
Drawn By:

Key Plan:

Revisions:

A01 Addendum #1

A02 Addendum #2



-NEW FIRE SPRINKLER SYSTEM WITHIN THIS AREA AS REQUIRED. SEE FIRE SPRINKLER NOTES.

BASEMENT FLOOR PLAN

FIRE PROTECTION NOTES:

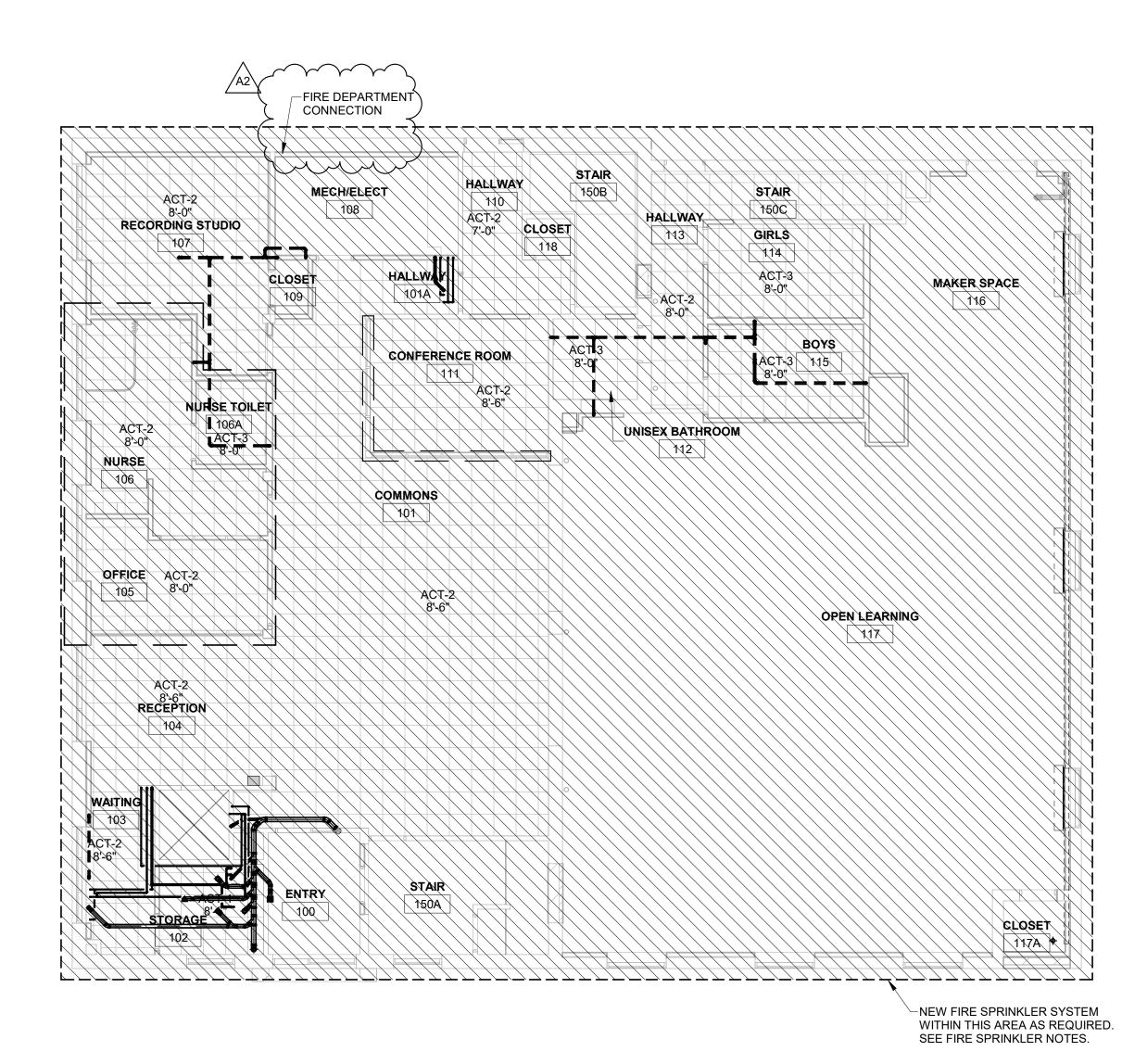
- FIRE SPRINKLER SYSTEM TO ACCOMMODATE NEW ROOM & CEILING LAYOUTS IN CONFORMANCE WITH REQUIREMENTS OF THE STATE OF WISCONSIN, INTERNATIONAL BUILDING CODE, INTERNATIONAL FIRE CODE, NFPA AND INSURANCE SERVICES OFFICE.
- REFER TO DRAWINGS FOR PROPER COORDINATION. INSTALL SPRINKLER HEADS IN CENTER OF CEILING TILES. USE OF FLEXIBLE STAINLESS STEEL HOSE TO SPRINKLER HEAD AND METAL BRACKET FOR CLIPPING TO CEILING T-BARS IS
- ALL PIPING SHALL BE CONCEALED EXCEPT WHEN LOCATED IN UNFINISHED SPACES, SUCH AS STORAGE AND MECHANICAL
- EQUIPMENT ROOMS. 6. ALLOW FOR THREE ADDITIONAL HEADS BEYOND MINIMUM DESIGN FOR ANY SPECIAL STORAGE REQUIREMENTS.
- ALL WORK TO BE SCHEDULED AS DIRECTED BY OWNER. COORDINATE AS REQUIRED.
- REVIEW, COORDINATE, AND SCHEDULE INSTALLATION OF WORK WITH OTHER TRADES. . REFER TO ARCHITECTURAL DRAWINGS FOR ADDITIONAL INFORMATION AFFECTING THE WORK.
- . IT IS THE INTENT OF THESE DRAWINGS THAT THE FIRE SPRINKLER SYSTEM BE COMPLETE, WORKING, TESTED, AND
- OPERATIONAL. 10. INCLUDE ALL RELATED CUTTING, PATCHING AND/OR REMOVAL AND REPLACEMENT OF EXISTING WALLS, FLOORS & CEILINGS
- UNLESS OTHERWISE INDICATED. . WHEN PIPING PASSES THROUGH SMOKE SEPARATION ASSEMBLIES, DRAFT STOPPING CONSISTING OF MINERAL WOOL OR FIBERGLASS INSULATION SHALL BE PACKED

AROUND PIPING PENETRATING FACE OF ASSEMBLY. SEE

SPECIFICATION SECTION 07 84 00 FOR PIPING PENETRATIONS THROUGH FIRE RATED ASSEMBLIES. 2. IDENTIFY PIPING LOCATED ABOVE CEILINGS PRIOR TO CEILING GRID INSTALLATION.

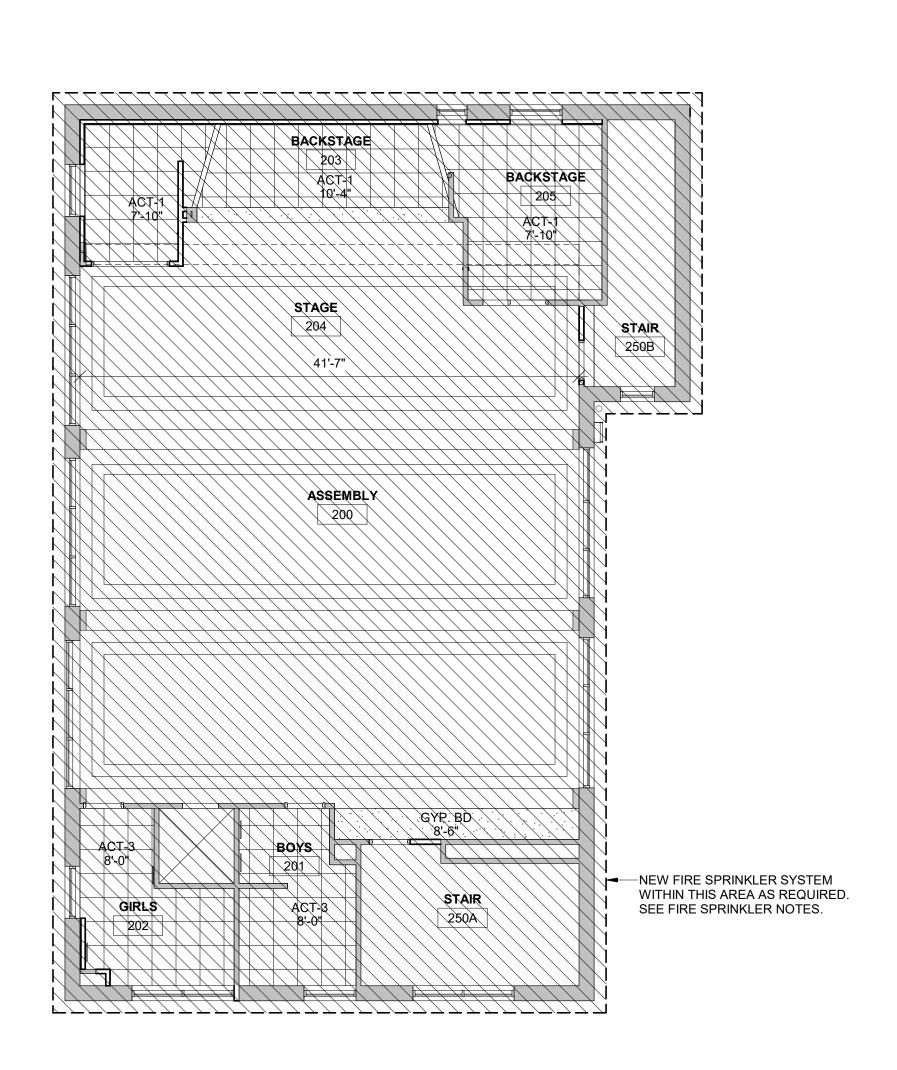
FIRE STOPPING NOTE:

<u>FIRE STOPPING</u>: COMPLY WITH STATE REGULATIONS REGARDING THE PROTECTION OF FIRE-RESISTIVE WALLS, FLOORS, CEILINGS OR ROOFS, PENETRATED BY PIPING. PENETRATIONS INTO OR THROUGH FIRE RATED WALLS, FIRE BARRIERS, SHAFT AND VERTICAL EXIT ENCLOSURES, FIRE PARTITIONS, SMOKE BARRIERS, AND HORIZONTAL ASSEMBLIES SHALL COMPLY WITH SECTION 711 OF THE IBC. PENETRATIONS SHALL BE PROTECTED BY AN APPROVED PENETRATION FIRE STOP SYSTEM INSTALLED AS TESTED IN ACCORDANCE WITH ASTM E 814, WITH A MINIMUM POSITIVE PRESSURE DIFFERENTIAL OF 0.01 INCH OF WATER AND SHALL HAVE AN F RATING OF NOT LESS THAN THE REQUIRED FIRE-RESISTANCE RATING OF THE WALL PENETRATED. THE INSTALLER SHALL BE TRAINED AND CERTIFIED BY THE FIRE STOPPING MANUFACTURER. A COPY OF THIS CERTIFICATION, SHOWING THE INSTALLERS NAME, SHALL BE PROVIDED TO THE OWNER.



FIRST FLOOR PLAN

1/8" = 1'-0"



SECOND FLOOR PLAN

INTERIOR DESIGN **100 MILWAUKEE STREET** LA CROSSE, WISCONSIN PHONE: 608.784.1830 FAX: 608.782.5844 WEB SITE: www.hsrassociates.com HSR Project Number: Project Date: **AUG 27, 2019** Drawn By: Key Plan: Description A2 Addendum #2 9/17/2019 1:33:55 PM

GENERAL PLUMBING SPECS:

<u>CODE</u>: COMPLY WITH ALL LOCAL AND STATE BUILDING CODES. SECURE PERMITS FROM PROPER OFFICES AND PAY FEES. FURNISH OWNER WITH ONE COPY OF ALL PERMITS.

<u> AS-BUILT DRAWINGS</u>: SUBMIT COPY TO OWNER AT COMPLETION OF

TYPE L COPPER WATER TUBE, HARD TEMPER, ASTM B88; WITH CAST COPPER PRESSURE FITTINGS. ANSI B16.18: WROUGHT COPPER PRESSURE FITTINGS, ANSI B16.22; LEAD FREE (<.2%) SOLDER, ASTM B32; FLUX, ASTM B813 USE DIELECTRIC UNIONS OR BRASS CONVERTOR FITTINGS TO CONNECT COPPER TUBING TO STEEL PIPING.

BALL VALVES (WATER): APOLLO, JOMAR, PROPRESS, WATTS. LEAD FREE BRONZE BODY, LEAD FREE BRASS STEM, CONTRACTOR SHALL INSTALL BRONZE BALL VALVES AS SPECIFIED AND WHERE SHOWN ON DRAWINGS. IF BRASS BALL VALVES ARE SUBSTITUTED AND INSTALLED, THE CONTRACTOR WILL BE REQUIRED TO REPLACE EACH WITH AS SPECIFIED OR TO PROVIDE A CREDIT OF \$150 FOR EACH VALVE SUBSTITUTION. A/E WILL DISCUSS WITH THE OWNER AND IF ACCEPTABLE WILL PROCESS A CHANGE ORDER.

WR BALANCING VALVE: THE CIRCUITSOLVER ASSEMBLY WITH ISOLATION

SANITARY DRAIN, WASTE AND VENT PIPING: SCHEDULE 40 PVC DWV PIPE

PIPE HANGERS: FEE AND MASON, B-LINE, GRINNELL, MICHICAN, UNI-STRUT PIPE INSULATION: PROVIDE COMPOSITE PIPING INSULATION (INSULATION, JACKETS, COVERINGS, SEALERS, MASTICS, AND ADHESIVES) WITH RATINGS NOT EXCEEDING FLAME SPREAD OF 25 AND A SMOKE DEVELOPED OF 50 (TEST METHOD ASTM E-84). COMPLY WITH ALL CODES REGARDING THE USE OF FOAM INSULATION. INSULATE PIPING LOCATED IN INTERIOR SPACES: DOMESTIC COLD WATER PIPING & RAINWATER PIPING. RIGID FIBERGLASS INSULATION WITH MINIMUM NOMINAL DENSITY OF 3 LBS. PER CU. FT., AND THERMAL CONDUCTIVITY OF NOT MORE THAN 0.23 AT 75 DEGREES F MEAN TEMPERATURE. SUITABLE FOR TEMPERATURES TO 450 DEGREES F WITH VAPOR BARRIER JACKET.

INSULATION SERVICE INSULATION TYPE PIPE SIZE THICKNESS I. RAINWATER RIGID FIBERGLASS 6" AND SMALLER 2. HOT WATER RIGID FIBERGLASS 1" AND SMALLER 3. COLD WATER RIGID FIBERGLASS 2" AND SMALLER

TESTING: TESTING OF NEW PIPE & FITTINGS AS REQUIRED. (DOMESTIC WATER - CITY PRESSURE, 15 MINUTES, NO LEAKS).

<u>NATER CLOSET (WC-1):</u>

1. AMERICAN STANDARD, KOHLER, ZURN

- CHINA: KOHLER HIGHCLIFF #K-4405, FLOOR MOUNT, FLUSHOMETER VALVE TYPE, VITREOUS CHINA, SIPHON-JET, ELONGATED BOWL, 1-1/2" TOP SPUD, FULLY GLAZED PASSAGEWAY, 16 1/2" RIM HEIGHT. EXPOSED FLUSHOMETER VALVE: TOTO TET1LN32#CP DIAPHRAGM, HANDLE PACKING. STOP SEAT AND VACUUM BREAKER OF MOLDED PERMEX RUBBER COMPOUND FOR CHLORAMINE RESISTANCE; CAST SET
- SCREW WALL FLANGE. SEAT: KOHLER, AMERICAN STANDARD, BEMIS, BENEKE, CENTOCO, CHURCH, OLSONITE. BEMIS NO. 1655SSC (KOHLER NO.K-4731) WHITE OPEN FRONT, EXTRA HEAVY WEIGHT, INJECTION MOLDED SOLID PLASTIC SEAT LESS COVER, FACTORY INSTALLED STAINLESS STEEL SELF-SUSTAINING AND EXTERNAL CHECK HINGE WITH DOUBLE SIDED GASKET/TAPE.
- SUPPORT: J. R. SMITH, JOSAM, WADE, WATTS, ZURN. J.R. SMITH FIG. 0532F, OR 0532FY COMPACT VERTICAL CENTER LINE TYPE, SINGLE, CAULK OR NO-HUB CONNECTIONS, M12 EXPOSED FLUSH VALVE SUPPLY SUPPORT, NIPPLE LENGTH AS REQUIRED, 3" SIZE CONNECTION. SPACE BETWEEN FIXTURE AND FLOOR SHALL BE NEATLY CAULKED WITH A NARROW BEAD OF CLEAR SILICONE RUBBER SEALANT. MOUNT RIM 16 1/2" ABOVE FLOOR.
- WATER CLOSET (WC-2): AS SPECIFIED FOR WC-1 EXCEPT, MOUNT RIM 17" ABOVE FLOOR, AND INSTALL OPERATION OF FLUSHOMETER VALVE A MAXIMUM OF 44" ABOVE

CHINA: INTEGRAL WITH COUNTERTOP.

- FAUCET: TOTO TEL101 SENSOR ACTIVATED ELECTRONIC LAVATORY FAUCET, ADA COMPLIANT, SINGLE HOLE MOUNT, BRASS FAUCET BODY, MIXING VALVE, ALL HARDWARE INCLUDED. DRAIN: GRID DRAIN: KOHLER NO. K-7129-A.
- CHINA: KOHLER "KINGSTON" NO. K-2007 (FOR CONCEALED ARM SUPPORTS).
- FAUCET: SAME AS L-1. DRAIN: GRID DRAIN: KOHLER NO. K-7129-A.

SIOUX CHIEF, J.R. SMITH, ZURN, WATTS.

ZURN EZ-PV3-ST, SQUARE CAST NICKEL/BRONZE STRAINER. SQUARE STRAINER IN CERAMIC TILE OR RESILIANT FLOORS. ROUND STRAINER IN CONCRETE FLOORS.

SIOUX CHIEF, J.R. SMITH, JOSAM, WADE, WATTS, ZURN. ZURN EZC-PV4-S6; 4" CLEAN OUT, 4" SOLVENT WELD CONNECTION, PREPACKAGED SHIMS FOR TILT CORRECTION, SQUARE NICKEL BRONZE

TRIM. (FOR TILED FLOORS.) AS FIRED HIGH EFFICIENCY SEALED COMBUSTION WATER HEATER: A.O. MITH, BOCK, BRADFORD WHITE, HEATMAKER, HEAT TRANSFER PRODUCTS INC (PHOENIX), RHEEM/RUUD, LOCKINVAR, AMERICAN, PVI INDUSTRIES.

HIGH EFFICIENCY TANK-TYPE COMMERCIAL GAS WATER HEATER, 50 GALLON STORAGE CAPACITY, NATURAL GAS. DIRECT VENT USING 4" DIAMETER SCHEDULE 40 PVC AIR INTAKE PIPE AND EXHAUST PIPE (TOTAL MAXIMUM OMBINED EQUIVALENT LENGTH PER MANUFACTURER). 1 1/2" WATER INLET AND OUTLET, 3/4" GAS INLET, 3/4" T&P RELIEF VALVE OPENING. ALL COMPONENTS SHALL BE LOCATED IN THE FRONT OF THE HEATER FOR EASY ACCESS FOR SERVICEABILITY. ALL RELATED HARDWARE SHALL BE CONSTRUCTED OF STAINLESS STEEL STUDS AND BRASS NUTS FOR SERVICEABILITY. ALL WATER CONNECTION NIPPLES SHALL BE CONSTRUCTED OF STAINLESS STEEL AND BE ATTACHED TO THE SIDE OF THE TANK. UL/ULC LISTED. EXCEED EFFICIENCY REQUIREMENTS OF ASHRAE 90.1B-1992. FACTORY INSTALLED ASME RATED TEMPERATURE AND PRESSURE RELIEF

- CONCENTRIC ROOF TERMINATION SHALL A. BE A MINIMUM OF 12" ABOVE EXPECTED SNOWFALL LEVEL TO
- PREVENT LOCKAGE BUT NOT EXCEED 24" ABOVE THE ROOF. B. BE PROPERLY SUPPORTED. C. BE SEALED WITH A PLUMBING ROOF BOOT OR EQUIVALENT FLASHING. D. BE ONLY AS PROVIDED WITH UNIT. ADJUST OPERATING TEMPERATURE OF DOMESTIC HOT WATER HEATER
- PROVIDE WARNING LABEL ON OUTSIDE OF EACH WATER HEATER INDICATING THE POTENTIAL FOR SCALDING IF HEATER THERMOSTAT IS SET FOR OVER 125°F. USE DIELECTRIC UNIONS OR BRASS CONVERTOR FITTINGS TO CONNECT
- COPPER TUBING TO STEEL TANKS, HEATERS, OR PIPING. NO GALVANIZED PIPING PERMITTED. ELECTRIC WIRING UNDER ELECTRICAL; INCLUDING HEATER GROUNDING WITNESS ALL TESTS AND COMPILE ALL DOCUMENTATION INCLUDING
- VERIFICATION OF THE FOLLOWING A. START-UP AND TESTING OF THE WATER HEATER. B. CONFIRMATION THAT INSTALLATION IS IN COMPLIANCE WITH
- TEMPERATURE SETTING OF 120°F. OPERATION OF RELIEF VALVE.
- START-UP BY FACTORY PERSONNEL.

MANUFACTURER'S RECOMMENDATIONS.

- F. INSTRUCTION BY FACTORY PERSONNEL. G. LOCAL GAS UTILITY OR INSPECTION DEPARTMENT INSPECTION H. CALIBRATE CONTROLS AND ADJUST FOR MAXIMUM EFFICIENCY.
- COMBINING INTAKE PIPING WITH OTHER INTAKE PIPING IS NOT A. EXHAUST PIPING SHALL BE SLOPED BACKED TO HEATER.

I. 120 VOLT, 60 HZ, 10 AMP ELECTRICAL REQUIREMENT.

C. SCREENS SHALL BE PLACED IN ALL OPENINGS OF INTAKE AND EXHAUST TO PREVENT FOREIGN MATTER FROM ENTERING. ALL VENTING MUST BE PROPERLY SUPPORTED AND NOT FROM HEATER.

B. EXHAUST PIPING SHALL BE AT LEAST 1' ABOVE MAXIMUM SNOW

- **VATER HAMMER ARRESTER** SIOUX CHIEF "HYDRA-RESTER", WATTS REGULATOR, PRECISION PLUMBING PRODUCTS, PROFLO. CONSTRUCTED OF TYPE L HARD DRAWN COPPER BARREL, ACETAL PISTON, THREE 70-D EPDM O'RINGS, FDA APPROVED DOW-CORNING #111 SILICONE SEAL LUBRICANT. SHALL MEET EITHER THE ANSI STANDARD A112.26.1M OR ASSE STANDARD
- SHALL BE PDI CERTIFIED. THE SIZE AND LOCATION OF THE ARRESTER SHALL BE IN ACCORD WITH THE HYDRAULIC DESIGN OF THE PIPING SYSTEM SERVED.
- J.R. SMITH. JOSAM, MIFAB, PORTALS PLUS, WADE, WATTS, ZURN. J.R. SMITH #1010-C-CID OR #1020-C-CID (SIDE OUTLET) CAST IRON DRAINS WITH UNDER DECK CLAMP, EXTENSION, SUMP RECEIVER, CAST IRON FLASHING RING/GRAVEL STOP AND REMOVABLE CAST IRON DOME STRAINER. INCLUDE EXTENSION (E) AND SUMP RECEIVER (R) WHEN REQUIRED. PLASTIC DOMES ARE NOT ACCEPTABLE.

ROOFING SYSTEMS.

FLASHING PROVIDED BY ROOFING TRADE ON ALL SINGLE MEMBRANE

GENERAL PLUMBING NOTES:

- BUILDING SYSTEMS MUST REMAIN OPERATIONAL, UNLESS OTHERWISE PERMITTED BY OWNER. COORDINATE AS REQUIRED. ALL WORK TO BE SCHEDULED AS DIRECTED BY OWNER. COORDINATE AS PORTIONS OF THE BUILDING WILL BE CONTINUOUSLY OCCUPIED DURING THE CONSTRUCTION PERIOD. AVOID INTERFERENCE WITH BUILDING
- FUNCTION. COORDINATE TIMING OF CONSTRUCTION WORK WITH THE THIS PLAN HAS BEEN PRODUCED UTILIZING THE EXISTING PLANS AND IS NOT INTENDED TO BE ALL-INCLUSIVE. VISIT THE BUILDING SITE AND BECOME THOROUGHLY FAMILIAR WITH ALL
- EXISTING CONDITIONS AFFECTING THE WORK. VERIFY ALL MEASUREMENTS, PIPE SIZES, PIPE LOCATIONS, ELEVATIONS, ETC. AT SITES. REVIEW, COORDINATE, AND SCHEDULE INSTALLATION OF WORK WITH
- OTHER TRADES. INSTALL ALL WORK SUBSTANTIALLY AS SHOWN ON THE DRAWINGS
- UNLESS OTHERWISE APPROVED BY OWNER. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATION OF ALL ROOF DRAINS, PLUMBING FIXTURES, STRUCTURAL DIMENSIONS AND
- 10. IT IS THE INTENT OF THESE DRAWINGS THAT EACH AFFECTED SYSTEM BE COMPLETE, WORKING, TESTED, AND OPERATIONAL. 1. CONFLICT BETWEEN DRAWINGS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO BID OPENING. THE ENGINEER RESERVES THE RIGHT TO FINAL DECISION. INCLUDE ALL PLUMBING RELATED CUTTING, PATCHING AND/OR REMOVAL
- AND REPLACEMENT OF EXISTING WALLS, FLOORS & CEILINGS UNLESS OTHERWISE INDICATED. 13. ALL WATER PIPING SHALL BE SO INSTALLED TO FACILITATE COMPLETE DRAINAGE
- 4. ALL FIXTURE WATER SUPPLY FLOW RATES SHALL CONFORM TO SPS 384.20(3). 5. DOMESTIC WATER PIPE SIZING SHALL CONFORM TO SPS 382.40(7). FRICTION LOSS METHOD AND MAXIMUM FLOW VELOCITY OF 8 FPS. 16. UNLESS NOTED OTHERWISE ALL WASTE. DRAIN. AND SEWER PIPING 3"
- AND LARGER SHALL BE INSTALLED AT A SLOPE OF 1/8" PER FOOT AND WASTE, DRAIN, AND SEWER PIPING 2" AND SMALLER AT 1/4" PER FOOT. 7. CONNECT VENT PIPING ABOVE THE CENTERLINE OF HORIZONTAL DRAIN PIPING IN CONFORMANCE TO SPS 382.31(15)(b)1 8. FIXTURE VENTS SHALL CONNECT TO OTHER BRANCH VENTS A MINIMUM OF 38" ABOVE THE FLOOR, CONFORMING TO SPS 382,31(15)(b)3.
- 19. THE INSTALLATION OF PVC DWV PIPING IN BUILDING SHALL CONFORM TO SPS 384.40(14), WHEN APPLICABLE. 20. WASTE STACK BASE CONNECTIONS SHALL BE MADE USING LONG SWEEP
- 1. CLEANOUTS SHALL CONFORM TO SPS 382.35(6) TABLE 82.35. 2. ALL WATER HEATERS SHALL BE PROVIDED WITH AN APPROVED TEMPERATURE AND PRESSURE RELIEF VALVE WITH DISCHARGE PIPE
- TERMINATING NOT MORE THAN 6" ABOVE FLOOR IN CONFORMANCE TO SPS 382.40(5)(d) and SPS 384.20 (5)(p). 23. ALL WATER CLOSETS SHALL BE WATER CONSERVING TYPE, USING A MAXIMUM OF 1.6 GALLONS PER FLUSH CONFORMING TO SPS 384.20(3).
- ALL URINALS SHALL BE WATER CONSERVING TYPE, USING A MAXIMUM OF 1.0 GALLONS PER FLUSH WITH HAND OR AN AUTOMATICALLY OPERATED FLUSHOMETER VALVE, CONFORMING TO SPS 384.20(3). 25. ALL PUBLIC LAVATORY FAUCETS WHETHER MANUAL ÓR SENSOR TYPE SHALL USE A MAXIMUM OF 2.2 GPM AND METERING OR SELF-CLOSING FAUCETS SHALL ALLOW A MAXIMUM OF 0.25 GALLON PER METERING
- CYCLE, CONFORMING TO SPS 384.20(3). 26. ALL SINK FAUCETS SHALL USE A MAXIMUM OF 2.2 GPM, CONFORMING TO SPS 384.20(3) 7. ALL LINE VALVES WHICH SERVE TWO OR MORE PLUMBING FIXTURES SHALL HAVE A FLOW OPENING NOT LESS THAN ONE NOMINAL PIPE SIZE
- SMALLER THAN THE NOMINAL SIZE OF THE PIPING CONNECTING TO THE VALVE, CONFORMING TO SPS 384,30(5)(b)3. 28. EXPOSED DOMESTIC WATER PIPING BELOW STAINLESS STEEL SINKS AND COUNTERTOPS LOCATED IN SCHOOL KITCHENS SHALL BE PAINTED TO MATCH WALL AND PER MANUFACTURER'S RECOMMENDATIONS.
- 29. CUTTING AND NOTCHING: OF OUTER FIBERS OF STRUCTURAL MEMBERS IS NOT PERMITTED; MAY OCCUR IN NON-BEARING PARTITIONS, HOWEVER. WHEN NOTCH EXCEEDS 25% OF STUD WIDTH, THE AFFECTED STUDS SHALL BE ADEQUATELY REINFORCED; OF TOP MEMBERS OF TWO MEMBER PLATES MORE THAN 1/2 THEIR WIDTH SHALL REQUIRE PLATES TO BE REINFORCED WITH 18 GAUGE STEEL STRAPS.
- 30. CUTTING, NOTCHING OR BORING OF METAL STUD WALL SYSTEM IS NOT PERMITTED UNLESS APPROVED BY THE MANUFACTURER AND THE STRUCTURAL INTEGRITY HAS NOT BEEN REDUCED TO UNACCEPTABLE 1. BORED HOLES: ARE PERMITTED IN THE MIDDLE ONE-THIRD OF JOIST OR
- STUD DEPTH. 32. WHEN PIPING PASSES THROUGH SMOKE SEPARATION ASSEMBLIES, DRAFT STOPPING, CONSISTING OF MINERAL WOOL OR FIBERGLASS INSULATION, SHALL BE PACKED AROUND PIPING PENETRATING FACE OF
- 3. PLASTIC PIPE MAY PENETRATE REQUIRED FIRE-RESISTIVE RATED FLOORS, WALLS, CEILINGS AND FIRE RATED ASSEMBLIES PROTECTED WITH AN APPROVED FIRE-STOP SYSTEM HAVING AN F-RATING NOT LESS THAN THE HOURLY RATING OF THE ASSEMBLY BEING PENETRATED. SEE SECTION 07 84 00. 44. CORE DRILL OPENINGS IN EXISTING FLOOR/WALL, AS REQUIRED. SIZE OF
- OPENINGS SHALL NOT EXCEED 1" LARGER THAN THE O.D. OF THE PIPING PENETRATING THE ASSEMBLY. COORDINATE WITH DRAFT/FIRE STOPPING REQUIREMENTS. 35. NEW OPENINGS UP TO 4" DIAMETER MAY BE CORED THROUGH THE EXISTING SLAB IF THEY ARE PLACED NO CLOSER THAN 2" CLEAR OF THE

OUTSIDE FACE OF THE COLUMNS, TOP BAR REINFORCING IS LOCATED

AND IS NOT CUT AND NOT MORE THAN ALTERNATE BOTTOM BAR SLAB

GENERAL PLUMBING SPECS:

REINFORCING IS CUT. LOCATE BEFORE CORING.

- A. FURNISH, INSTALL AND PLACE IN OPERATION, AN AUTOMATIC WATER SOFTENING SYSTEM BASED ON PRODUCT BY HELLENBRAND. MODEL: H200M-120 SINGLE. CAPITAL, CULLIGAN, NORTH STAR AND RAIN SOFT EQUALS ARE ACCEPTABLE. B. MINERAL TANK: 4 CU. FT RESIN CAPACITY MOLDED FIBERGLASS NON-
- CORROSIVE TANK. C. BRINE TANK: 24"x50" TANK WITH COVER, GRID SYSTEM, CORROSION FREE POLLYETHLENE.
- D. METER: 1.5" INLINE STAINLESS STEEL METER ACCURATE FROM 0.5 75 E. CAPACITY: EFFICIENT SALTING: 82,000 GRAINS @ 20 LBS SALT F. SYSTEM FLOW RATE: 47 GPM @ 15 PSI/60 GPM @ 25 PSI. G. INSTALLING CONTRACTOR: THE INSTALLING CONTRACTOR SHALL PROVIDE AND INSTALL INDIVIDUAL BALL VALVES AND UNIONS ON THE

INLET AND OUTLET OF THE WATER SOFTENER AND PROVIDE A

- THREE-VALVE BY-PASS FOR THE ENTIRE SYSTEM. H. TEST KIT: FURNISH HACH 5B HARDNESS TEST KIT. DISTRIBUTION SYSTEMS, MEDIA LOADING AND CONTROL VALVE MOUNTING: SUCCESSFUL BIDDER SHALL FOLLOW THE MANUFACTURER'S PRINTED INSTRUCTIONS FOR THE MEDIA LOADING AND INSTALLATION TO ENSURE PROPER PROCEDURES ARE FOLLOWED. IF NEEDED, THE SUCCESSFUL BIDDER SHALL CONTRACT WITH AN AUTHORIZED SERVICE AGENT TO ASSIST WITH THESE PROCEDURES.
- START-UP: SUCCESSFUL EQUIPMENT PROVIDER SHALL FOLLOW THE MANUFACTURER'S PRINTED INSTRUCTIONS TO START UP THE SYSTEM AFTER PLUMBING AND ELECTRICAL REQUIREMENTS ARE COMPLETED. THIS INCLUDES RAW WATER TESTING, PROGRAMMING, INDIVIDUAL START-UP FOR EACH SOFTENER COLUMN, SYSTEM OPERATION AND PRODUCT WATER TESTING FOR EACH COLUMN AND FRAINING OF PERSONNEL. SET SYSTEM FOR EFFICIENT SALTING/CAPACITY LEVELS WITH VARIABLE RESERVE AND DELAYED REGENERATION. IF NEEDED, THE SUCCESSFUL BIDDER SHALL CONTRACT WITH AN AUTHORIZED SERVICE AGENT TO ASSIST WITH THESE PROCEDURES.

CLAMP INSERTS WITH

STRAPS. (AVAILABLE IN

1/2", 3/4", & 1" INSULATION

PAINTED ALUMINUM JACKET & NON-SKID PIPE

VERTICAL UNISTRUT

THICKNESSES)

PIPE SUPPORT

DESCRIPTION

ELECTRIC WATER COOLER

LAVATORY

LAVATORY

MOP BASIN - 3'

SINK - DOUBLE

-COMPARTMENT SINK

URINAL - SYPHON JET

WATER CLOSET - FLOOR

MOUNT - FLUSH VALVE -

PUBLIC

MOUNT - FLUSH VALVE -

PUBLIC

WATER CLOSET - FLOOR

MANUFACTURER

ELKAY

INTEGRAL WITH

TOP

KOHLER

FIAT

ELKAY

ELKAY

KOHLER

KOHLER

KOHLER

MODEL

EZS8WSSK

MSB-2424

BARDON K-4991

K-4405

K-4405

DESCRIPTION

GALVANIZED

SOLID SURFACE

WHITE VITREOUS

WHITE VITREOUS

WHITE VITREOUS

CHINA

WHITE VITREOUS

CHINA

A COMPRESSED AIR AFF ABOVE FINISHED FLOOR

ABBREVIATIONS

AFG ABOVE FINISHED GRADE BT BATHTUB

FIXTURE

SYMBOL

EWC-1

MB-1

S-1

UR-1

WC-1

CB CATCH BASIN CO CLEANOUT CS COLD SOFT WATER CSS CLINICAL/FLUSHING RIM SINK

CW COLD WATER CWV CLEAR WATER VENT CWW CLEAR WATER WASTE DCV DOUBLE DETECTOR CHECK VALVE

DEIONIZED WATER DSN DOWNSPOUT NOZZLE DW DISHWASHER

E EXISTING EC ELECTRICAL CONTRACTOR EEW EMERGENCY EYEWASH ESEW EMERGENCY SHOWER/EYEWASH

F FIRE PROTECTION WATER SERVICE FCO FLOOR CLEANOUT FFA FROM FLOOR ABOVE FFB FROM FLOOR BELOW

FPC FIRE PROTECTION CONTRACTOR NATURAL GAS GC GENERAL CONTRACTOR

HB HOSE BIBB HC HVAC CONTRACTOR HW HOT WATER

HWR HOT WATER RECIRCULATION IE INVERT ELEVATION

LAVATORY LT LAUNDRY TRAY

MA MEDICAL COMPRESSED AIR MAC MEDICAL AIR COMPRESSOR MB MOP BASIN

MH MANHOLE MV MEDICAL VACUUM

MVP MEDICAL VACUUM PUMP

N NITROGEN NO NITROUS OXIDE NPC NON-POTABLE COLD WATER NPCS NON-POTABLE COLD SOFT WATER

NPH NON-POTABLE HOT WATER NPR NON-POTABLE HOT RECIRULATION

PLUMBING CONTRACTOR

PRV PRESSURE REGULATING VALVE RO REVERSE OSMOSIS WATER RPBP REDUCED PRESSURE ZONE BACKFLOW PREVENTER

SAN SANITARY SH SHOWER SPR SPRINKLER PIPING

ST STORM TEMPERED WATER TFA TO FLOOR ABOVE

TFB TO FLOOR BELOW TMV THERMOSTATIC MIXING VALVE

VTR VENT THRU ROOF

YCO YARD CLEANOUT

DOMESTIC WATER SERVICE WAGD WASTE ANESTHETIC GAS DISPOSAL WC WATER CLOSET WCO WALL CLEAN OUT WF WASH FOUNTAIN

WM WASHING MACHINE WALL BOX WH WALL HYDRANT WHA WATER HAMMER ARRESTOR WHR WATER HEATER WS WATER SOFTENER

INSULATED PIPE SUPPORT \ PIPE CLAMP PIPE CLAMP PIPE CLAMP (3/8"-8") (3/8"-8") (1/2"-8") (1/2"-4")(PARAFFIN

INTEGRAL UR/PIP SUPPORTS— B3172

INSULATION COLD WATER -PIPING INSULATION---PROTECTION ADJUSTABLE ADJUSTABLE SHIELD B3100 SERIES CLEVIS HANGER SWIVEL RING BAND (1/2"-8") (1/2"-30") - STANDARD TYPE. B3104 SERIES CLEVIS HANGER

IMPREGNATED)

(1/2"-4") - LIGHT DUTY TYPE. PIPE SUPPORT DETAIL

PLUMBING AND PIPING SYMBOLS -----COLD WATER-SOFT COLD WATER-HARD _____CWH____ HOT WATER HOT WATER RETURN STORM DRAIN/SEWER SANITARY SEWER SANITARY VENT

MANUFACTURER

TOTO

TOTO

MOLDED STONE | CHICAGO FAUCET CO

STAINLESS STEEL | CHICAGO FAUCET CO

STAINLESS STEEL | CHICAGO FAUCET CO

MODEL NO.

TEL 155-C20E

897-CP

100-GN8AE3-317AE

895-317E73-RGD2AB

TEU1LN12#CP

TET1LN32#CP

TET1LN32#CP

FINISH

STEEL

CHROME

STAINLESS

STAINLESS

STEEL

CHROME

CHROME

CHROME

Grand total: 51

CABINE

STAINLESS

MANUAL

SENSOR

SENSOR

SENSOR

PLUMBING SHEET INDEX

FP100 FIRE PROTECTION

P000 NOTES, SCHEDULES AND DETAILS P090 DEMOLITION PLANS P100 UNDER FLOOR REMODEL PLAN P101 BASEMENT REMODEL PLAN

P102 FIRST FLOOR REMODEL PLAN P103 SECOND FLOOR REMODEL PLAN P200 ISOMETRIC DIAGRAMS

FIXTURE UNIT SUMMARY									
FIXTURE			PIPE SIZE			FIXTURE UNITS			
SYMBOL	FIXTURE DESCRIPTION	COUNT	WASTE	VENT	CW	HW	DFU	CWFU	HWFU
		7					0	0	0
EWC-1	ELECTRIC WATER COOLER	1	2"	1 1/2"	1/2"		0.5	0.25	0
FD-1	FLOOR DRAIN - 3" SQUARE	6	3"	2"			18	0	0
FD-2	FLOOR DRAIN - 3" ROUND	2	3"	1 1/2"			6	0	0
L-1	LAVATORY	12	1 1/2"	1 1/2"	1/2"	1/2"	12	6	6
L-2	LAVATORY	2	1 1/2"	1 1/2"	1/2"	1/2"	2	1	1
MB-1	MOP BASIN - 3"	2	3"	1 1/2"	1/2"	1/2"	6	4	4
S-1	SINK - DOUBLE	4	2"	1 1/2"	1/2"	1/2"	8	6	6
S-2	1-COMPARTMENT SINK	1	1 1/2"	1 1/2"	1/2"	1/2"	1	1	1
UR-1	URINAL - SYPHON JET	1	2"	1 1/2"	3/4"		2	4	0
WC-1	WATER CLOSET - FLOOR MOUNT - FLUSH VALVE - PUBLIC	5	4"	2"	1"		30	32.5	0
WC-2	WATER CLOSET - FLOOR MOUNT - FLUSH VALVE - PUBLIC	8	4"	2"	1"		48	52	0

PIPE CONNECTIONS

WATER

ROUGH-IN

PIPE

DIAMETER

ROUGH-IN

PIPE

DIAMETER

FIXTURE SYMBOL		PIPE CONNECTIONS				
		SANITARY CONNECTOR	COLD WATER CONNECTOR	HOT WATER CONNECTOR		
	DESCRIPTIION	DFU	CWFU	HWFU		
		0				
EWC-1	ELECTRIC WATER COOLER	0.5	0.25	0		
FD-1	FLOOR DRAIN - 3" SQUARE	3				
FD-2	FLOOR DRAIN - 3" ROUND	3				
L-1	LAVATORY	1	0.5	0.5		
L-2	LAVATORY	1	0.5	0.5		
MB-1	MOP BASIN - 3"	3	2	2		
S-1	SINK - DOUBLE	2	1.5	1.5		
S-2	1-COMPARTMENT SINK	1	1	1		
UR-1	URINAL - SYPHON JET	2	4	0		
WC-1	WATER CLOSET - FLOOR MOUNT - FLUSH VALVE - PUBLIC	6	6.5	0		
WC-2	WATER CLOSET - FLOOR MOUNT - FLUSH VALVE - PUBLIC	6	6.5	0		

PLUMBING FIXTURE SCHEDULE

ROUGH-IN

PIPE

DIAMETER DIAMETER

1 1/2"

FIXTURE

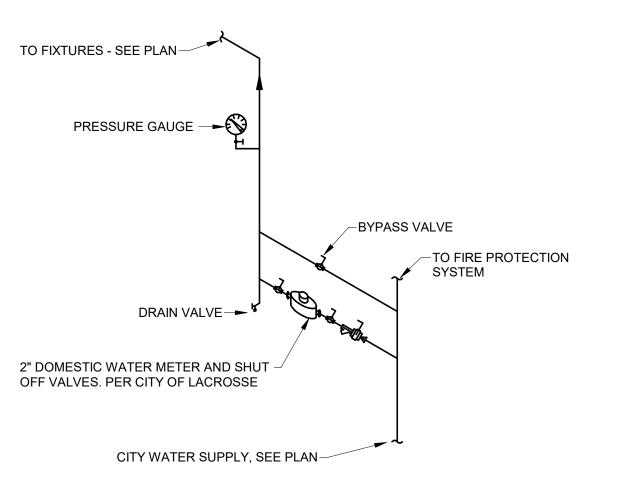
No 0.1 GPM 2"

0.5 GPM 1 1/2"

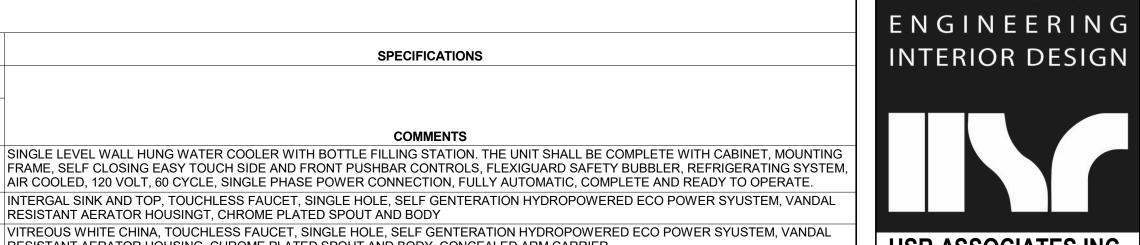
MOTION

SENSOR

CONTROL FLOW



WATER METER DETAIL



SPECIFICATIONS

SINGLE LEVEL WALL HUNG WATER COOLER WITH BOTTLE FILLING STATION. THE UNIT SHALL BE COMPLETE WITH CABINET, MOUNTING

INTERGAL SINK AND TOP. TOUCHLESS FAUCET, SINGLE HOLE, SELF GENTERATION HYDROPOWERED ECO POWER SYUSTEM, VANDAL

VITREOUS WHITE CHINA, TOUCHLESS FAUCET, SINGLE HOLE, SELF GENTERATION HYDROPOWERED ECO POWER SYUSTEM, VANDAL

SERVICE BASIN WITH CAP ON TWO SIDES, WITH CHROME PLATED 3" DRAIN AND CAST IRON TRAP. FAUCET SHALL INCLUDE PAIL HOOK

TWO-COMPARTMENT, ADA COMPLIANT, SELF-RIMMING, 18 GAUGE. SINGLE LEVER SWIVEL FAUCET. TWO LK35 BASKET STRAINERS,

ONE COMPARTMENT, 18 GAUGE. DUAL LEVER FAUCET WITH 5 1/4" SPOUT. TUBULAR PVC P-TRAP, TAILPIECES, BRASS SUPPLIES AND

WALL HUNG URINAL WITH WASHOUT ACTION, TOP SPUD, SIZE 18" WITH INTEGRAL EXTENDED SHIELDS SUPPORTED BY THROUGH

ELONGATED FLOOR MOUNTED WATER CLOSET, 1-1/2" TOP SPUD, WITH CHURCH 295CT ELONGATED OPEN FRONT SEAT. SENSOR

ELONGATED FLOOR MOUNTED WATER CLOSET, 1-1/2" TOP SPUD, WITH CHURCH 295CT ELONGATED OPEN FRONT SEAT. SENSOR

AIR COOLED, 120 VOLT, 60 CYCLE, SINGLE PHASE POWER CONNECTION, FULLY AUTOMATIC, COMPLETE AND READY TO OPERATE.

RESISTANT AERATOR HOUSINGT, CHROME PLATED SPOUT AND BODY

ACTIVATED FLUSHOMETER. INSTALL AT ADA COMPLIANT HEIGHT.

133.5 106.75

ACTIVATED FLUSHOMETER.

RESISTANT AERATOR HOUSING, CHROME PLATED SPOUT AND BODY, CONCEALED ARM CARRIER

GOING BOLTS AND C.P. NUTS. SOLAR POWERED SENSOR ACTIVATED FLUSHOMETER.

AND ATMOSPHERIC VACUUM BREAKER SPOUT. FURNISH 5'-0" LENGTH OF 5-PLY GARDEN HOSE AND FITTINGS.

P-TRAP, TAILPIECES, SUPPLIES AND STOPS. INSULATE WATER AND WASTE TO MEET ADA REQUIREMENTS.

HSR ASSOCIATES INC 100 MILWAUKEE STREET LA CROSSE, WISCONSIN PHONE: 608.784.1830

FAX: 608.782.5844

WEB SITE: www.hsrassociates.com Consultant:

HSR Project Number: Project Date: **AUG 27, 2019**

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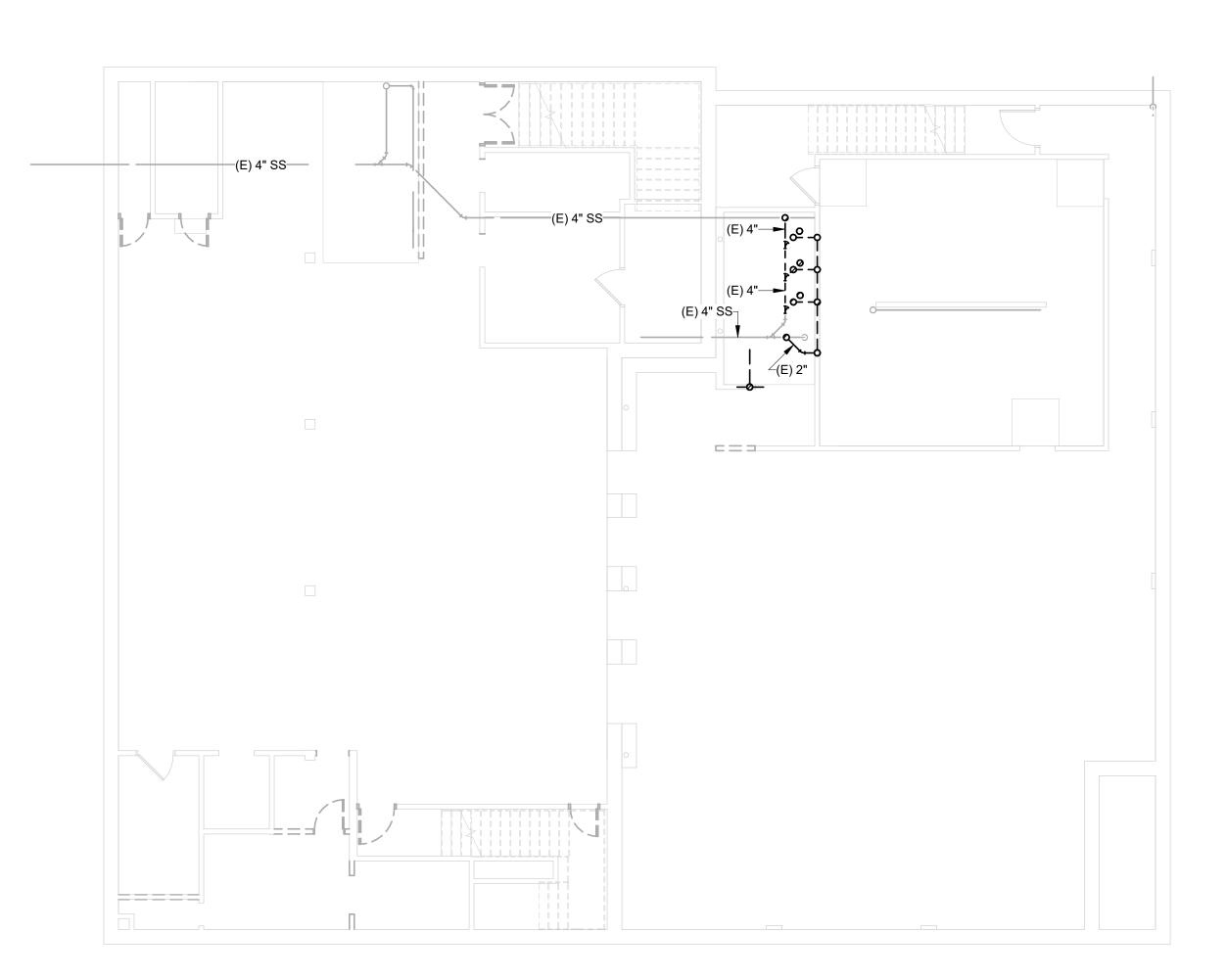
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C

Graphic Scale: **VARIES**

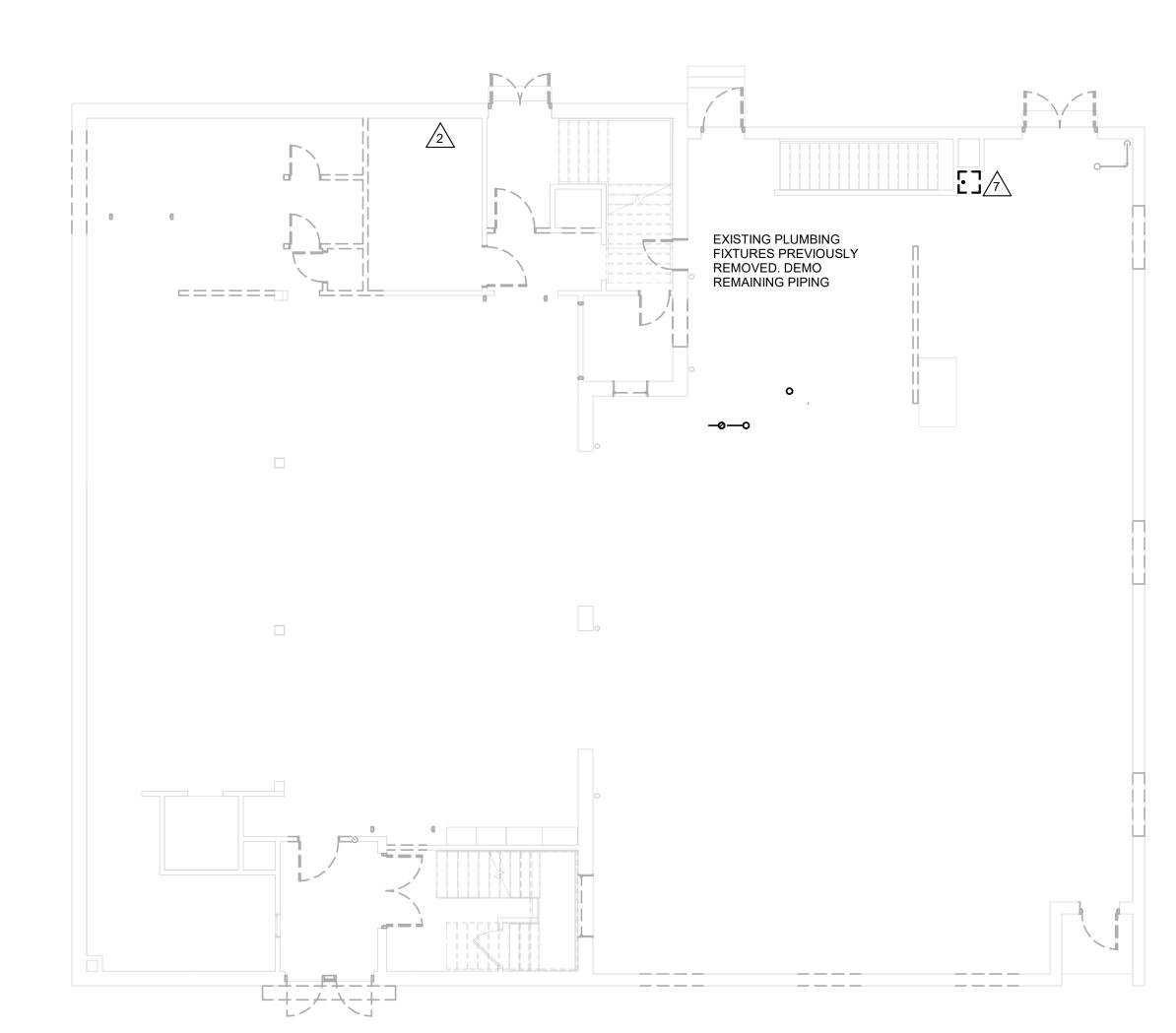
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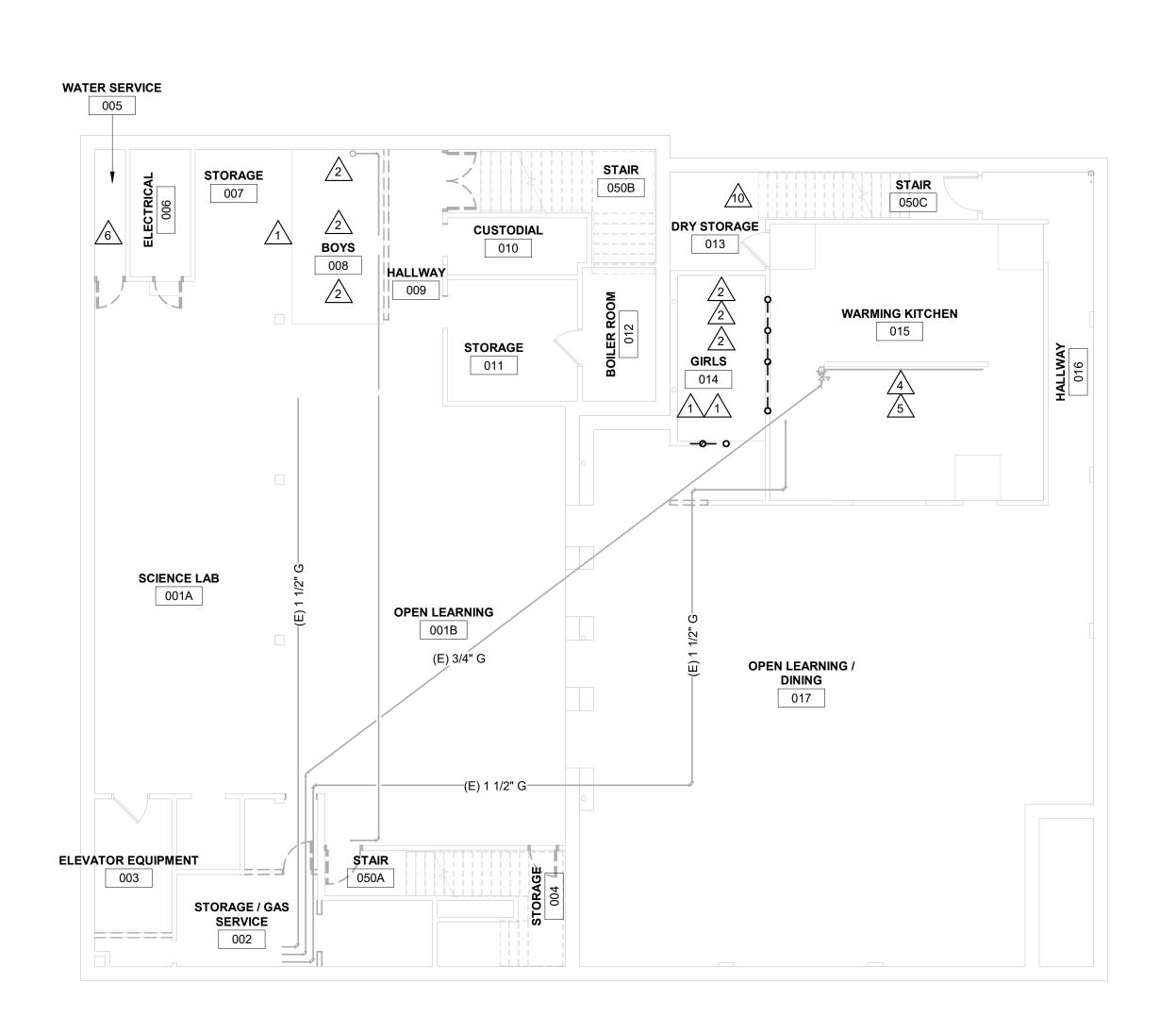
UNDER FLOOR DEMO PLAN

1/8" = 1'-0"



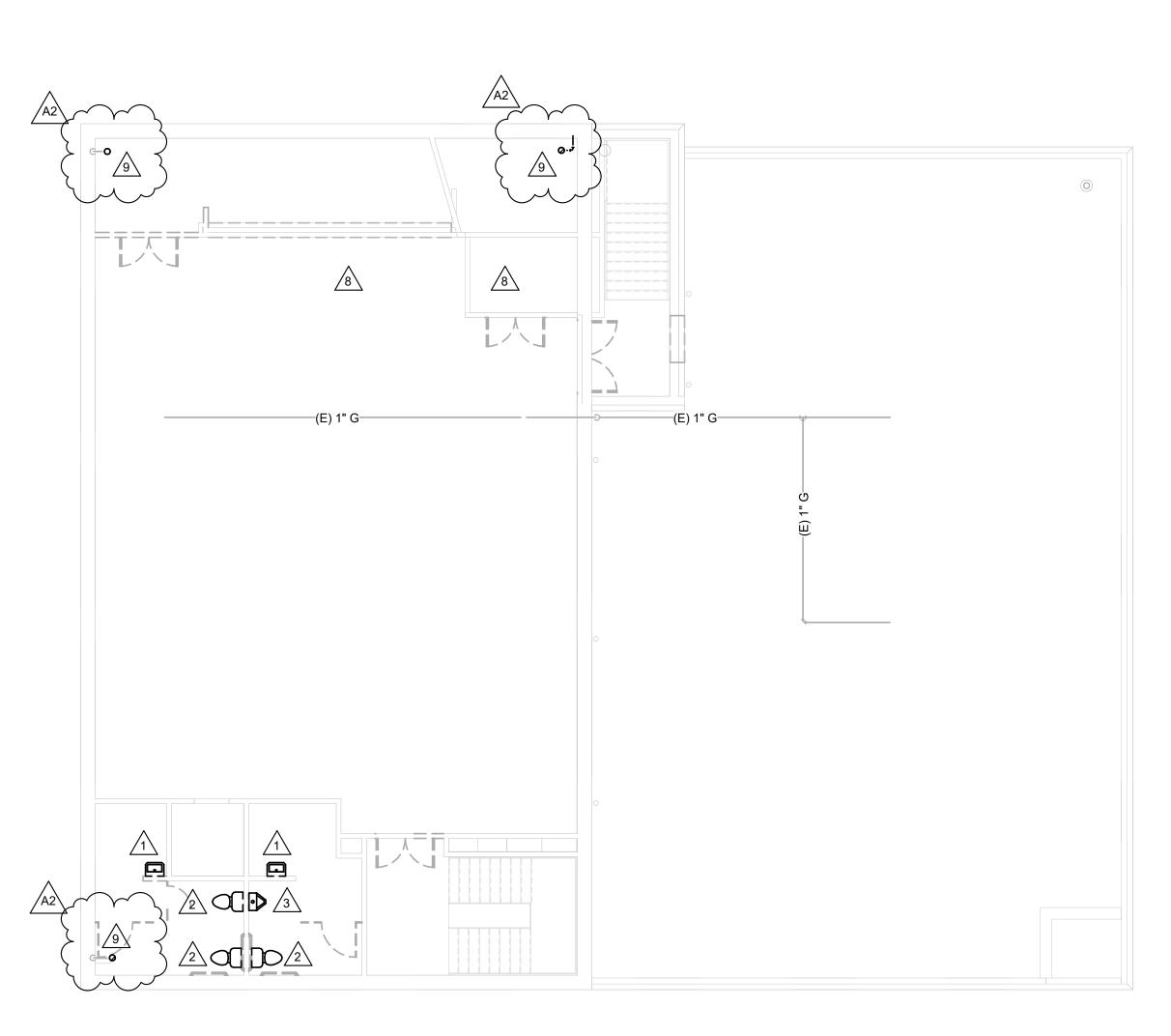
FIRST FLOOR DEMO PLAN

1/8" = 1'-0"



2 BASEMENT FLOOR DEMO PLAN

1/8" = 1'-0"



SECOND FLOOR DEMO PLAN

1/8" = 1'-0"

REMOVAL NOTES: 🖄

- A. REMOVE ALL EXISTING PLUMBING, (INCLUDING PIPING IN WALLS BEING REMOVED, CHASES BEING REMOVED, OR ABOVE CEILINGS), FIXTURES, EQUIPMENT, DEVICES, ETC. WITHIN BUILDING, INCLUDING BUT NOT LIMITED TO THAT WHICH IS SHOWN. FIELD VERIFY LOCATION AND SIZE OF PIPING, FIXTURES, ETC., AS REQUIRED. OTHER PIPING EXISTING, AND IS NOT SHOWN OR INDICATED TO BE RE-USED, SHALL BE REMOVED. DISPOSE OF ALL REMOVED
- RE-USED, SHALL BE REMOVED. DISPOSE OF ALL REMOVED MATERIAL OFF SITE.

 B. PIPING IN REMAINING WALLS OR CHASES CONNECTED TO PLUMBING FIXTURES OR EQUIPMENT REMAINING SHALL NOT BE REMOVED. SEE
- REMODELING PLAN FOR RECONNECTION.

 C. REMOVE THE LISTED PLUMBING FIXTURES OR EQUIPMENT AND RESPECTIVE WATER, WASTE, VENT, GAS, AND COMPRESSED AIR PIPING TO POINT OF RECONNECTION IN REMODELING OR TO MAIN, UNLESS PIPING IS BELOW FLOORS ON GRADE OR ABOVE NON-ACCESSIBLE CEILINGS, AND CAP/PLUG BELOW FLOOR, ABOVE CEILING AND/OR BEHIND REMAINING WALLS AS REQUIRED, OR AS OTHERWISE SHOWN OR INDICATED ON PLANS. PATCH TO MATCH EXISTING FINISHES, UNLESS OTHERWISE SHOWN OR INDICATED ON ARCHITECTURAL PLANS.

 D. ALL FIXTURES AND RELATED EQUIPMENT (FAUCETS, DRAIN
- D. ALL FIXTURES AND RELATED EQUIPMENT (FAUCETS, DRAIN ASSEMBLIES, MIXING VALVES, CHAIR SUPPORTS, CONTROLS, ETC.) REMOVED SHALL BE FURNISHED TO THE OWNER OR DISPOSED OF AT THEIR DIRECTION. CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO AVOID DAMAGE DURING FIXTURE REMOVAL, INCLUDING STALL TYPE URINALS. COORDINATE WITH THE OWNER.

FIXTURE REMOVAL					
TRIANGLE NUMBER	DESCRIPTION				
1	LAVATORY				
2	WATER CLOSET				
3	URINAL				
4	KITCHEN PLUMBING FIXTURES TO REMAIN. APPLIANCES AND KITCHEN EQUIPMENT TO BE REMOVED. SEE ARCHITECTURAL.				
5	KITCHEN PLUMBING FIXTURES TO REMAIN. APP ALL DWV AND WATER DISTRIBUTION PIPING TO KITCHEN TO BE OPERABLE UPON COMPLETIONLIANCES AND KITCHEN EQUIPMENT TO BE REMOVED. SEE ARCHITECTURAL.				
6	ALL GALVANIZED WATER DISTRIBUTION PIPING TO BE REPLACED.				
7	MOP BASIN				
8	EXISTING PIPING FROM PREVIOUSLY REMOVED FIXTURES				
9	STORM PIPING				
10	SUMP PUMP				



Project Title: SCHOOL DISTRICT OF LA CROSSE

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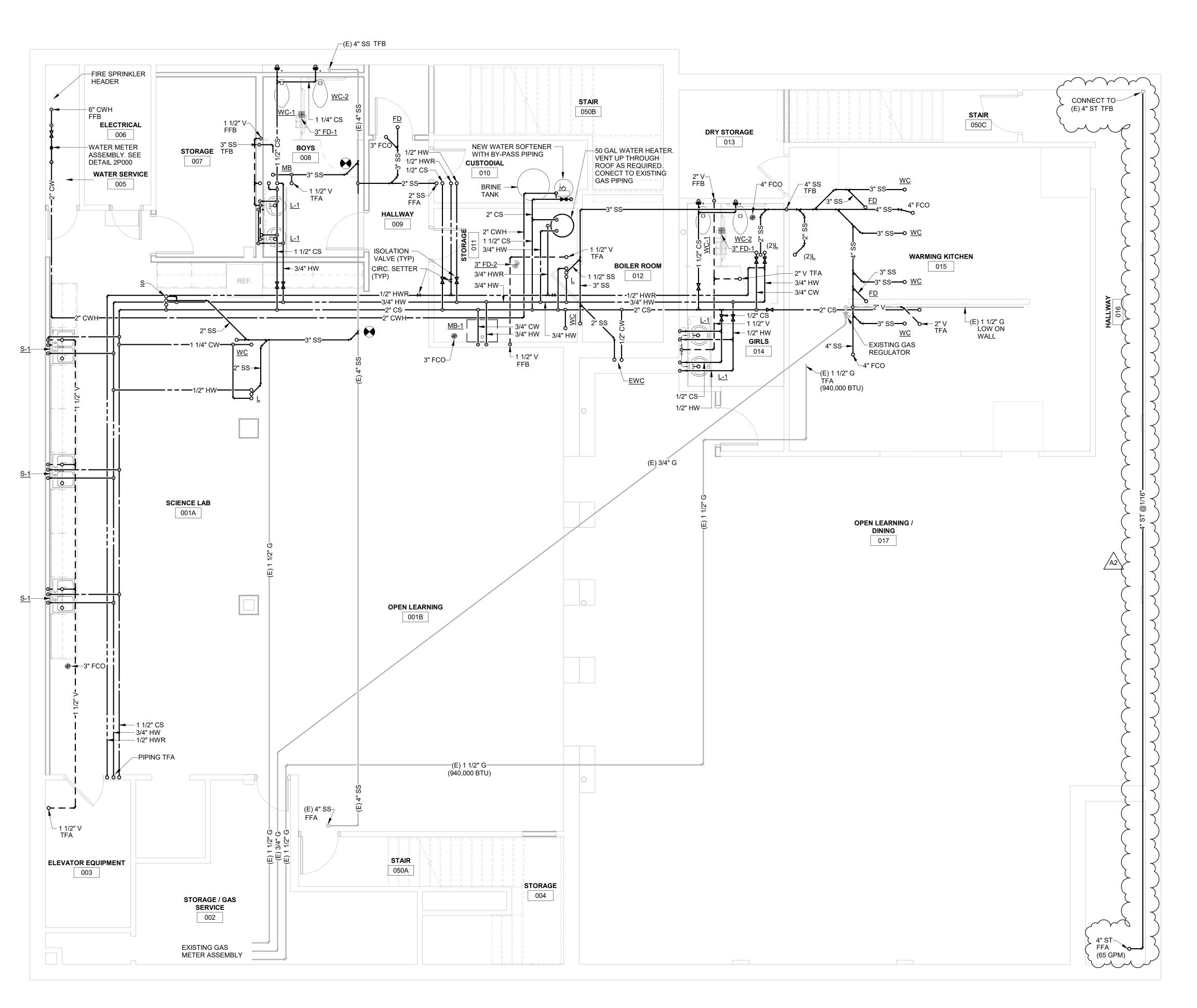
Revisions:

No. Description Date

A2 Addendum #2 9/17/201

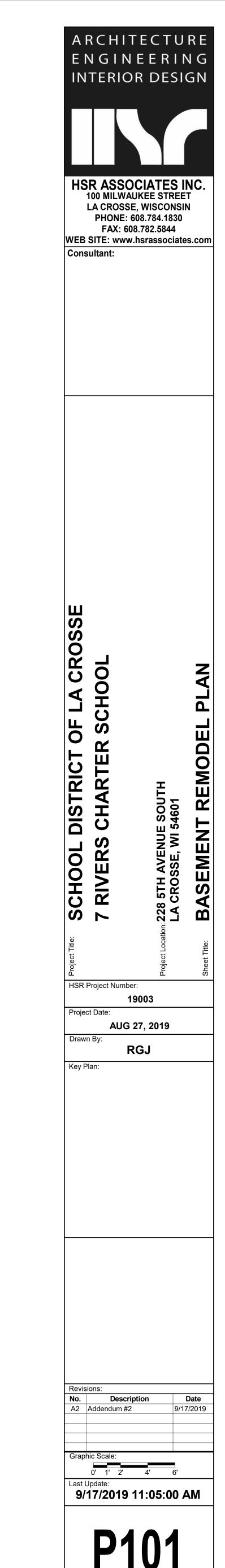
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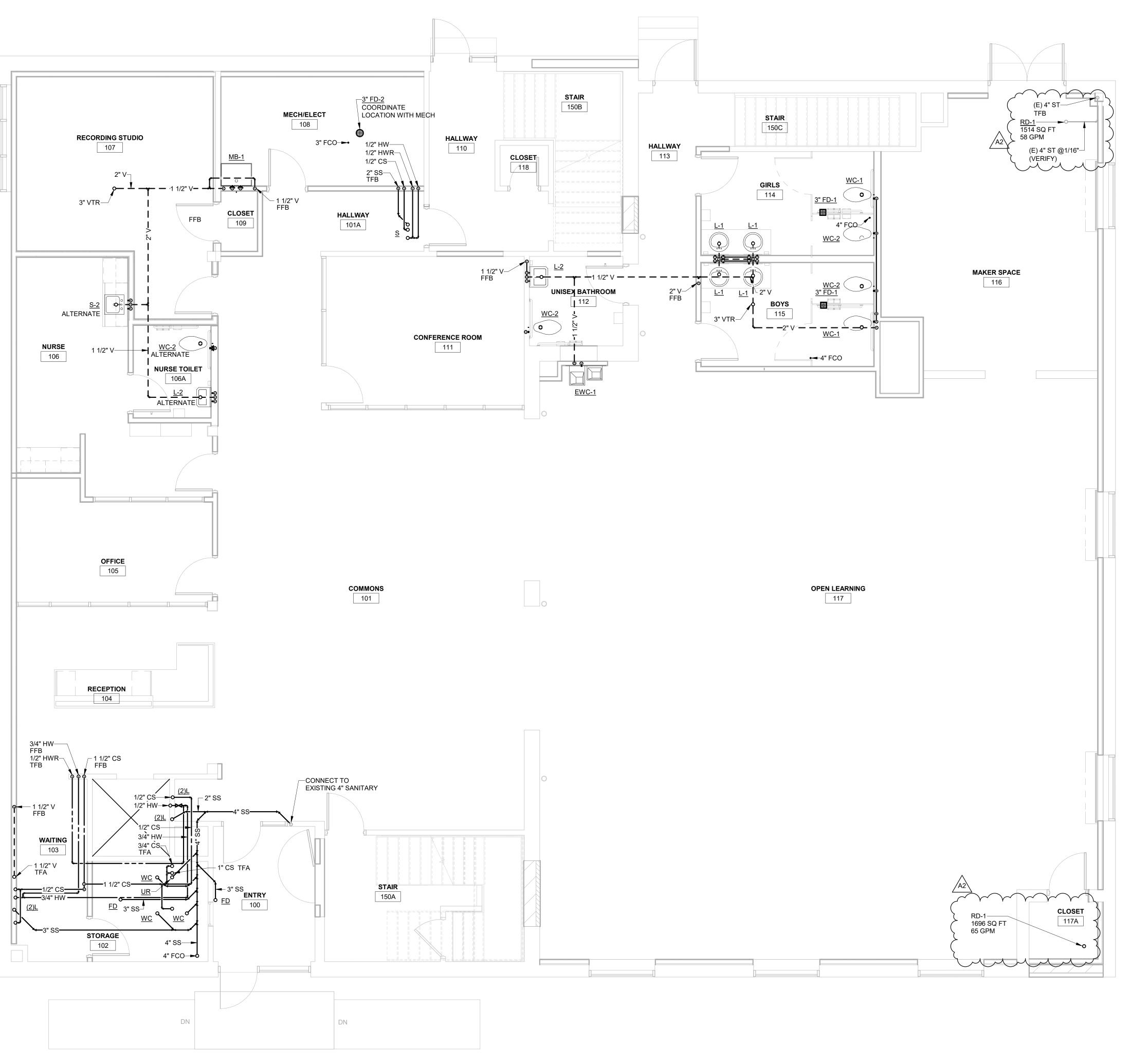
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BASEMENT REMODEL PLAN

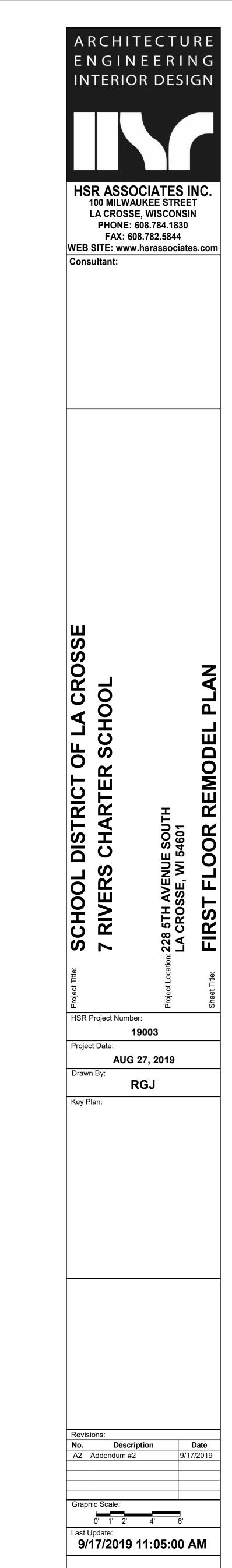
1/4" = 1'-0"



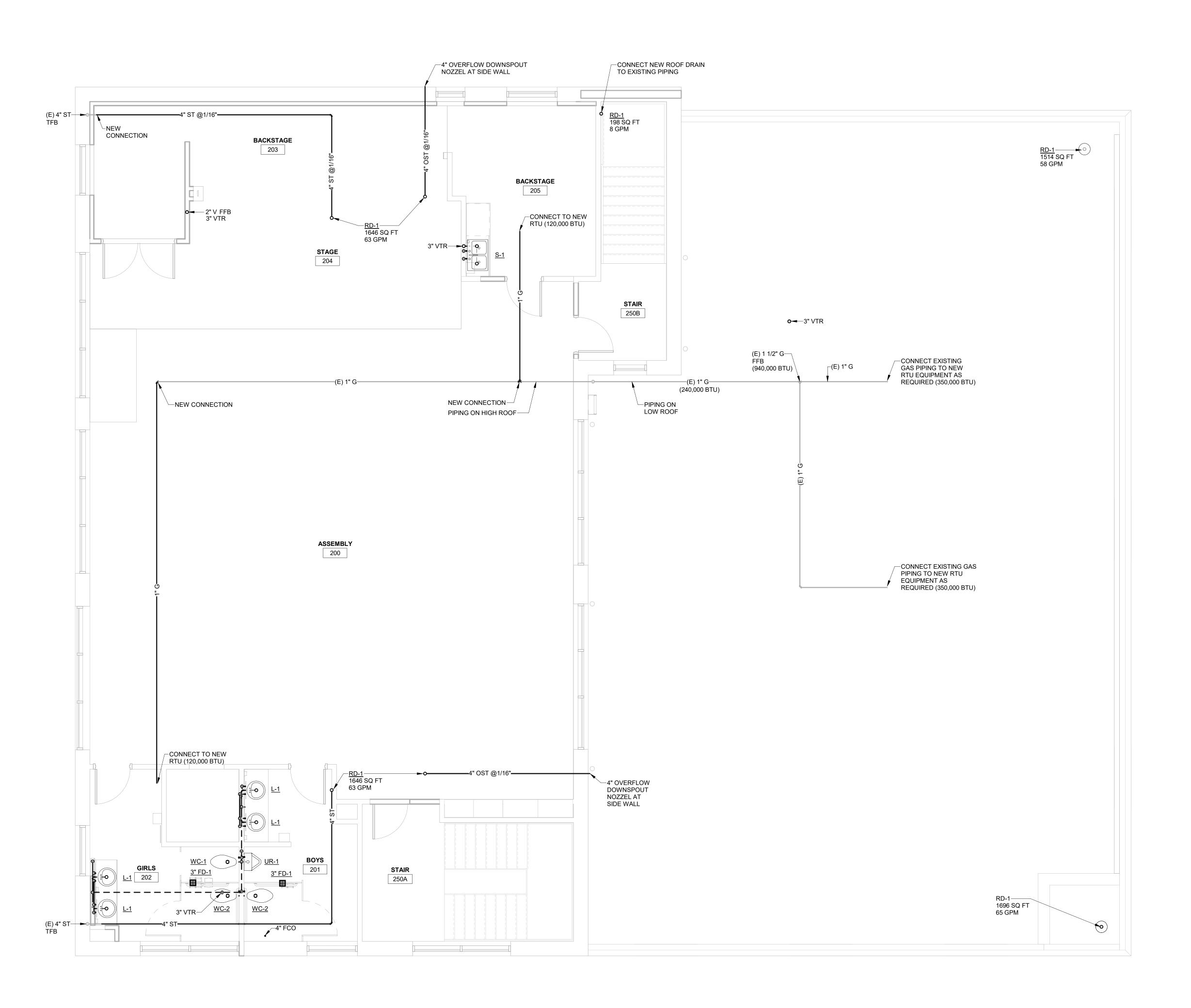


FIRST FLOOR REMODEL PLAN

1/4" = 1'-0"

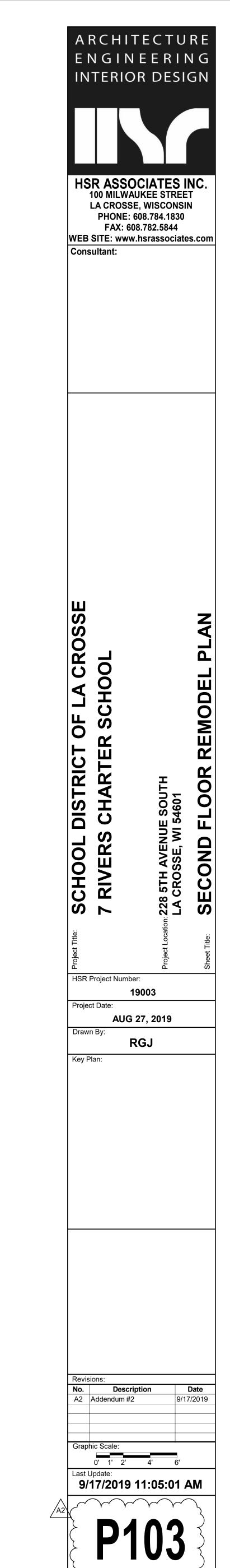


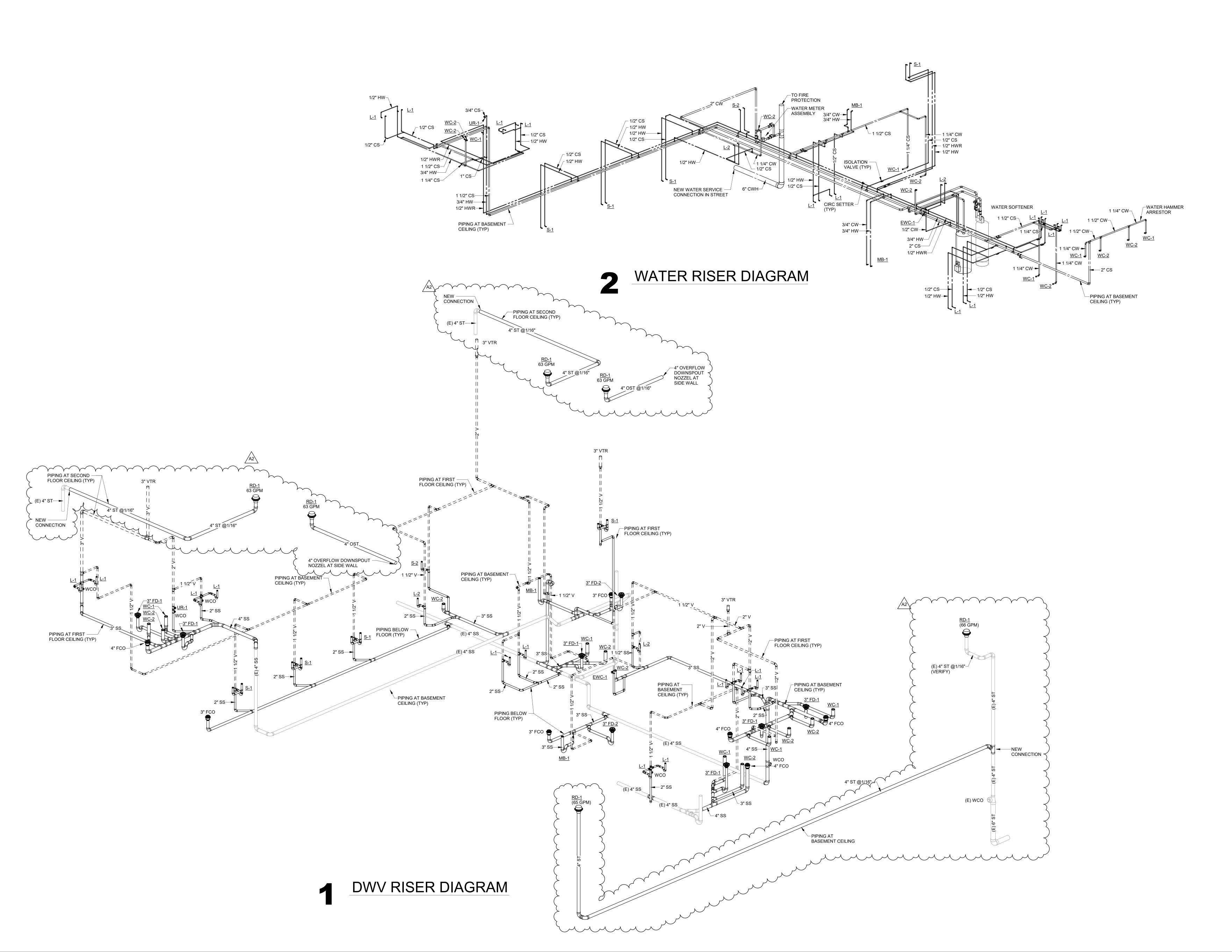
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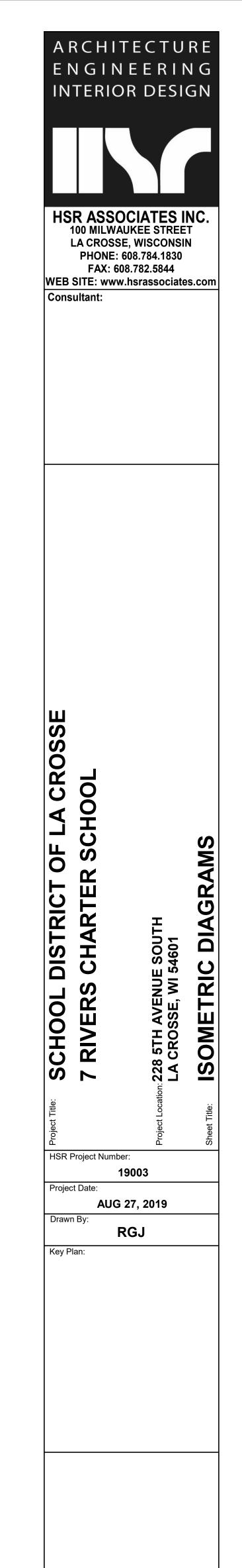


SECOND FLOOR REMODEL PLAN

1/4" = 1'-0"







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